- (I) <u>CALL TO ORDER</u>
- (II) OPEN FORUM

#### (III) <u>APPOINTMENTS</u>

(1) Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

#### (IV) CONSENT AGENDA

(2) Approval of Minutes for the *February 25, 2020* Planning and Zoning Commission meeting.

#### (3) P2020-010 (KOREY BROOKS)

Discuss and consider a request by Rob Whittle for the approval of a <u>Replat</u> for Lot 24, Block E, Chandlers Landing, Phase 16 Addition being a 0.16-acre parcel of land identified as Lot 16, Block E, Chandlers Landing, Phase 16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 295 Victory Lane, and take any action necessary.

#### (4) P2020-011 (DAVID GONZALES)

Discuss and consider a request by Jim Ziegler of Pegasus Ablon for the approval of a <u>Replat</u> for Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition being a 6.119-acre parcel of land identified as Lot 9, Block A, Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of Lakefront Trail and the IH-30 frontage road, and take any action necessary.

#### (5) SP2019-049 (KOREY BROOKS)

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a <u>Site Plan</u> for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

#### (V) PUBLIC HEARING ITEMS

#### (6) Z2020-001 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle, and take any action necessary.

#### (7) Z2020-002 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a <u>Specific Use Permit (SUP)</u> for <u>Residential Infill in an Established Subdivision</u> for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

#### (8) Z2020-003 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a <u>Specific Use Permit (SUP)</u> for <u>Residential Infill in an Established Subdivision</u> for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary.

#### (9) Z2020-004 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a <u>Specific Use Permit (SUP)</u> for <u>Residential Infill in an Established Subdivision</u> for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony, and take any action necessary.

#### (10) Z2020-005 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a <u>Specific Use Permit (SUP)</u> for <u>Residential Infill in an Established Subdivision</u> for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony, and take any action necessary.

#### (11) Z2020-006 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a <u>Specific Use Permit</u> (<u>SUP</u>) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and take any action necessary.

#### (12) **Z2020-007 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request for the approval of a <u>Text Amendment</u> to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties, and take any action necessary.

#### (13) Z2020-008 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales and Service of Heavy Machinery and Equipment* in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.

#### (VI) ACTION ITEMS

#### (14) SP2020-003 (KOREY BROOKS)

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an <u>Amending Site Plan</u> for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

#### (VII) DISCUSSION ITEMS

- (15) <u>Director's Report</u> of post City Council meeting outcomes for development cases (RYAN MILLER).
  - P2020-007: Final for Lots 1-4, Block A, Breezy Hill Lane Addition (APPROVED)
  - P2020-008: Amending Plat the Gideon Grove North Subdivision (APPROVED)
  - P2020-009: Conveyance Plat for Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2 (APPROVED)

#### (VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on March 6, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

- (I) CALL TO ORDER
- (II) OPEN FORUM
- (III) ACTION ITEMS

#### (1) SP2020-003 (KOREY BROOKS)

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an <u>Amending Site Plan</u> for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

#### (2) SP2019-049 (KOREY BROOKS)

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a <u>Site Plan</u> for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

#### (IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on <u>March 6, 2020</u> prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

#### I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:00 PM. The Commissioners present at the meeting were Sedric Thomas, Annie Fishman, and Vice-Chairman Jerry Welch. Absent from the meeting were Commissioners John Womble, Tracey Logan, and Mark Moeller. Staff members present were Planning and Zoning Director Ryan Miller, Planning Manager David Gonzales, Senior Planner Korey Brooks, Planning and Zoning Coordinator Angelica Gamez, City Engineer Amy Williams, and Civil Engineers Jeremy White and Sarah Johnston.

#### II. OPEN FORUM

Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time.

**Bob Wacker** 

Mr. Wacker came forward and gave a brief summary as to why he was in favor of the condominiums.

Chairman Chodun then asked if anybody else wished to come forward and speak and there being no one coming forward, Chairman Chodun closed the open forum.

#### III. APPOINTMENTS

1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural Review Board meeting.

#### IV. CONSENT AGENDA

2. Approval of Minutes for the *February 11, 2020* Planning and Zoning Commission meeting.

#### P2020-007 (KOREY BROOKS)

Consider a request by John Arnold of BH Phase XI, LTD on behalf of the owners Cory Knowlton and Chuck Sinks for the approval of a *Final Plat* for Lots 1-4, Block A, Breezy Hill Lane Addition being a 23.13-acre tract of land identified as Tract 33-1 & 33-02 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated at the terminus of Breezy Hill Road, and take any action necessary.

#### 4. P2020-008 (DAVID GONZALES)

Consider a request by Tom Martin of the Skorburg Co. on behalf of Tom Lynch of Pacesetter Homes, LLC for the approval of an <u>Amending Plat</u> for the Gideon Grove Subdivision consisting of 71 single-family residential lots on a 29.182-acre tract of land identified as Gideon Grove – North Addition, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77), situated within the 205 By-Pass Corridor Overlay (205 BY-OV) District, located at the northeast corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

#### 5. P2020-009 (DAVID GONZALES)

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of John Hammerbeck and Tony Scalise of Rockway Partners, LLC for the approval of an <u>Conveyance Plat</u> for Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2 being a 9.941-acre tract of land identified as Lots 6, 7 & 20, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

Vice-Chairman Welch made a motion to approve the consent agenda. Commissioner Fishman seconded the motion which passed by a vote of 4-0 with Commissioners Womble, Logan, and Moeller absent.

#### V. DISCUSSION ITEMS

#### 6. Z2020-001 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief history in regards to the request and he advised the Commission that the applicant's contractor was present. In November, there was a permit issued for the construction of a car port. The car port needed a Specific Use Permit (SUP) since its size exceeded 500 square feet. A permit tech discussed this issue with the contractor, and to avoid the SUP process, the contractor revised the plans to show a smaller car port. However, when the revised site plans came through and were approved, an inspector went out and confirmed that the structure had already been constructed before the permit was approved. At the moment, there is a stop work order and the purpose of this application is to get the zoning in place, request a Specific Use Permit, and to make changes to the structure to where it'll be in compliance. Mr. Gonzales then advised the Commission that the applicant was present.

Chairman Chodun asked the applicant to come forward.

Chris Kehrer 410 Normandy Lane Heath, TX 75032

The applicant came forward to provide a brief explanation in regards to the request. Mr. Kehrer explained that when they turned in permits on November 25, 2019, they were told that it would take a period of fifteen (15) days. He stated that they did start early with the foundation because they figured that if they got the foundation letter from the foundation engineer that they would sign off on that. Mr. Kehrer took responsibility for beginning the construction before the appropriate time. By the time they received the notice stating that they would need to go through the zoning process the project was already 90% complete. They did file another permit, which was approved, to bring the wall up on the building but decided against it when they noticed it would be too much air conditioning space.

Planning and Zoning Director Ryan Miller asked whether or not the building would have plumbing or not. The applicant stated that plumbing had been added to the back wall for one toilet or a shower. Mr. Miller then explained that it may come back as a secondary living quarters or guest quarters not as an accessory structure as there are multiple non-conformities with regards to the building.

The applicant's contractor, Mr. Kehrer, clarified that the intent for the building was for the applicant to be able to house his cars and other belongings to add value to the house. He also added that they would need to connect the structure to the house in order for them to be in compliance.

Commissioner Fishman asked for clarity in regards to the zoning on the property.

Chairman Chodun brought the item back to the Commission for questions and discussion. There being no further questions, he indicated that the case will return to the Commission for action at the next scheduled meeting on March 10, 2020. .

#### 7. Z2020-002 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

Chairman Chodun asked whether or not the applicant was present.

Planning and Zoning Director Ryan Miller gave a brief overview as to why these cases were brought upon the Commission and why the applicants were requesting SUPs.

Reese Baez 1415 Open Bay Court Rockwall, TX 75087

Mr. Baez came forward and added further information in regards to his request. He explained that the residence he was wanting to build was going to be a two story house with hardie board siding with stone wainscoting that goes around the perimeter of the building.

Chairman Chodun asked for clarification in regards to the being able to see the surrounding structures. He wanted to ensure that consistency with the surrounding houses was not going to be the deciding factor in each case. Planning and Zoning Director Ryan Miller assured him that they (The Commission) was given discretion with each request individually.

Chairman Chodun brought the item back to the Commission for questions and discussion. There being no further questions, he indicated that the case will return to the Commission for action at the next scheduled meeting on March 10, 2020.

#### 8. Z2020-003 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary.

Chairman Chodun asked whether Planning Manager David Gonzales or the applicant from the case before, Reese Baez, had anything to add since the properties being built on the lots were essentially the same. Neither one had any further comment.

Commissioner Fishman then asked whether there were other two story houses along the same street. Mr. Miller, Planning and Zoning Director, explained that there were other houses similar to the ones being built on the same street.

Chairman Chodun brought the item back to the Commission for questions and discussion. There being no further questions, he indicated that the case will return to the Commission for action at the next scheduled meeting on March 10, 2020.

#### 9. Z2020-004 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony, and take any action necessary.

Senior Planner Korey Brooks provided a brief history in regards to the request. He wanted to point out that the front garage on the elevations is more forward than the rest of the home. Typically, homes have to have the garage recessed twenty (20) feet from the front sides of the home whereas in this case the door is recessed behind and the garage is projected forward. Normally, that circumstance would require an exception to be approved in the Southside Overlay District but since an SUP has been requested then it has taken the place of the exception.

Chairman Chodun asked the applicant to step forward.

Ambrocio Ibarra 171 Crawford Lane Royse City, TX 75189

The applicant came forward and wanted an explanation of the SUP process since it was his first time going through it. He also asked what the timeline would be for his project to take place.

Planning and Zoning Director Ryan Miller gave further clarification to Mr. Ibarra's questions.

Chairman Chodun brought the item back to the Commission for questions and discussion, there being no further questions, indicated the case will return to the Commission for action at the next scheduled meeting.

#### 10. Z2020-005 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony, and take any action necessary.

Chairman Chodun asked whether Senior Planner Korey Brooks or the applicant, Mr. Ibarra, had anything to add since the properties being built on the lots were essentially the same. Neither one had any further comment.

Chairman Chodun then brought the item back to the Commission for questions and discussion.

Commissioner Thomas asked if there were any concerns pertaining to the garage setback. Senior Planner Korey Brooks explained that it was a discretionary decision for the Commission as well as City Council. He also added that there were similar nearby properties in the neighborhood so they do blend in with the surrounding homes.

Chairman Chodun had a question regarding any issues with water or runoff and whether or not that issue gets looked at. Planning and Zoning Director Ryan Miller clarified that Building Inspections will review a building plan on a lot by lot basis.

Senior Planner Korey Brooks added that there a Final Plat that came through the middle of last year in front of the Commission so they have seen the plans before. Commissioner Fishman asked if they would be able to see any variations on the homes and Mr. Brooks explained that the homes requesting to be built would be identical.

Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, advised the applicant that the case will return to the Commission for action on March 10, 2020.

#### 11. Z2020-006 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a <u>Specific Use Permit (SUP)</u> for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and take any action necessary.

Chairman Chodun asked Senior Planner Korey Brooks if the applicant was present and asked him to come forward.

Greg Givens 2308 Saddlebrook Lane Rockwall, TX 75087

The applicant came forward and provided a brief explanation in regards to the request. He intends to build an oversize detached garage with a driveway leading to the building. The reason for it being oversized is due to the size of his pickup truck which will not fit in his current garage as well as his travel trailer. He wants it to be covered and secure to where nothing is being laid out in the weather.

Chairman Chodun asked what the neighborhood looked like in regards to houses and structures. Senior Planner Korey Brooks advised the Commission that there had been a similar case brought up to them prior and it had been denied. There are other buildings in the neighborhood but they are brick and not metal buildings.

Commissioner Thomas remembered the prior case and asked the applicant what the reason was for not wanting to have a brick building. The applicant, Mr. Givens, stated that it was mainly because of the cost of having to build a brick building. Commissioner Thomas then advised Mr. Givens to be prepared to receive a number of people against the case due to the results of the prior case named.

Chairman Chodun asked Planning and Zoning Director Ryan Miller if they could approve a case based on materials or if they were simply approving the SUP. Mr. Miller explained that according to the City Attorney, material could be discussed or conditioned through an SUP.

Vice- Chairman Welch asked what the necessary size was needed in order to approve the permit and Mr. Brooks explained that the maximum square footage was 625 square feet.

Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, advised the applicant that the case will return to the Commission for action on March 10, 2020.

#### 12. Z2020-007 (RYAN MILLER)

Hold a public hearing to discuss and consider a request for the approval of a <u>Text Amendment</u> to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties, and take any action necessary.

Director Ryan Miller came forward and provided a brief explanation in regards to the case. Prior to the January 21, 2020 City Council meeting, a work session had been held to review the fence standards that were approved. City Council directed Staff to make the a few changes to the Unified Development Code (UDC). Specifically, the section containing the standards for the Duplex and Infill Single Family Property fences such as fences in areas where they don't have Planned Development (PD) controls or any that were built without Homeowners Association (HOA) controls. The changes are as follows: remove the top rail and decorative cap requirement; remove the section about it being stained and sealed on both sides; remove the framing being placed on the public side when adjacent to an alleyway but have it remain when adjacent to a street or an adjoining property; remove the free of burrs and splinters requirement; and remove the ½ inch or greater fencing material requirement. Staff put together a set of languages addressing City Council's direction and presented it to them. The only change that was not made was the 1/2 inch or greater fencing material requirement due to the fact that there were only seven (7) or eight (8) products (fence pickets) that were smaller and were of composite material which would require an exception through the fence ordinance. City Council stated that these would be handled on a case by case basis. Mr. Miller advised the Commission that any input or discussion could be had concerning the changes and, ultimately, will be taken and presented to City Council. Mr. Miller then advised the Commission that he was available for questions.

Chairman Chodun asked if there were any other questions for Staff and, there being no further questions, indicated the case will return to the Commission for action at the next scheduled meeting.

#### 13. Z2020-008 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales and Service of Heavy Machinery and Equipment* in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.

Senior Planner Korey Brooks advised the Commission that the applicant was present.

Chairman Chodun asked the applicant to come forward.

Tom Jones 5815 Meadow Crest Dallas, TX 75230

Mr. Jones came forward and provided a brief explanation in regards to the request. Mr. Jones explained that he was requesting the outdoor storage for the ten (10) parking spots that are shown at the south end of the building. The rental equipment would be fully loaded on trailers and will be ready to be hooked up or connected to the rear of the vehicle.

Vice-Chairman Welch wanted to know what the difference between this case and a similar case brought before them some time before. Senior Planner Korey Brooks explained that, at the time this application came forward, it was not permitted in a Commercial (C) District. The Commission had previously looked at a text amendment that allowed this use in a Commercial (C) District with an SUP. Essentially, the request presented was the SUP that followed that text amendment.

Commissioner Fishman inquired about what kind of equipment would be used and whether or not the applicant would be doing this for all locations. Mr. Miller explained that they would be using Bobcats or small tract vehicles.

Chairman Chodun asked if there would be a cover provided or if the applicant had considered screening on the South side. The applicant had not considered screening but does have an opportunity to do landscaping, trees, or visual screening as suggested by the Planning and Zoning Commission. Mr. Miller then clarified that it is required by the ordinance to have a screening for the building.

Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, indicated the case will return to the Commission for action at the next scheduled meeting.

14. SP2020-003 (KOREY BROOKS)

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an <u>Amending Site Plan</u> for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

Senior Korey Brooks advised the Commission that the applicant was present.

Chairman Chodun asked the applicant to come forward.

Tom Jones (Engineer)/ Josh Heinbeck (Architect) 5815 Meadow Crest Dallas, TX 75230

The applicant came forward and provided brief input in regards to the request. They are requesting the approval of an Amended Site Plan, which had been approved some time back. He explained that Architectural Review Board (ARB) had made recommendations regarding the site plan to which the applicant will be making changes to by the next week. Mr. Jones then advised the Commission that he was available to answer any questions they may have.

Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, indicated the case will return to the Commission for action at the next scheduled meeting on March 10, 2020.

#### 15. SP2019-049 (KOREY BROOKS)

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a <u>Site Plan</u> for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Daniyal M. Awan 3417 Meadows Drive Rockwall, TX 75087

The applicant came forward and provided further information in regards to the request. Mr. Awan is requesting the approval of a site plan for a development on the water for a condominium complex. This development was constructed back in 2004-2006. Out of the eighty-five (85) approved condominiums, only seventy-three (73) were built and building structure number two (2) was left unfinished and remains an empty piece of land. Since the building was originally set for eighty-five units, including 85 mail boxes, then the applicant is proposing to add two (2) new buildings with six (6) units on each. Mr. Awan went into further detail in regards to the different sizes and square footage of the units.

Vice- Chairman Welch asked whether this was a case that had been previously presented to the Commission. Senior Planner Korey Brooks advised that it was the same case but the applicant had failed to make the revisions needed which then caused the case to be denied. The applicant was then given another chance to resubmit his application with the revisions and request.

Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, indicated the case will return to the Commission for action at the next scheduled meeting on March 10, 2020.

- Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
  - P2020-006: Preliminary Plat of Saddle Star South Subdivision [APPROVED]
  - MIS2020-001: Alternative Tree Mitigation Plan for 2930 Ridge Road [APPROVED]

Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

#### VI. ADJOURNMENT

Chairman Chodun adjourned the meeting at 6:48 pm.

358 359	PASSED AND APPROVED BY THE PLANNING & ZONI	NG COMMISSION OF THE CITY OF ROCKWALL, Texas, this
360	day of	, 2020.
361 362 363 364 365		Eric Chodun, Chairman
366 367 368 369 370	Attest:  Angelica Gamez, Planning and Zoning Coordinator	



### CITY OF ROCKWALL

#### PLANNING AND ZONING COMMISSION CASE MEMO

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: March 10, 2020
APPLICANT: Rob Whittle

**CASE NUMBER:** P2020-010; Lot 24, Block E, Chandlers Landing, Phase 16 Addition

#### **SUMMARY**

Discuss and consider a request by Rob Whittle for the approval of a Replat for Lot 24, Block E, Chandlers Landing, Phase 16 Addition being a 0.16-acre parcel of land identified as Lot 16, Block E, Chandlers Landing, Phase 16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 295 Victory Lane, and take any action necessary.

#### PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat of one (1) lot (i.e. Lot 24, Block E, Chandlers Landing, Phase 16 Addition) for the purpose of establishing a 12-inch sanitary sewer easement necessary in order to develop a single-family home on the site.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for final plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the replat for Lot 24, Block E, Chandlers Landing, Phase 16 Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Zoning, and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



**Platting Application Fees:** 

[ ] Master Plat (\$100.00 + \$15.00 Acre) 1

[ ] Final Plat (\$300.00 + \$20.00 Acre) 1

[ ] Replat (\$300.00 + \$20.00 Acre) 1

[ ] Preliminary Plat (\$200.00 + \$15.00 Acre) 1

### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

	PLANNING & ZONING CASE NO. PZ620 - 610
(	NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
I	DIRECTOR OF PLANNING:
(	CITY ENGINEER:

**Zoning Application Fees:** 

[ ] Zoning Change (\$200.00 + \$15.00 Acre) 1

[ ] Specific Use Permit (\$200.00 + \$15.00 Acre) 1

[ ] PD Development Plans (\$200.00 + \$15.00 Acre) 1

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

[ ] Plat Reinstater  Site Plan Applicati [ ] Site Plan (\$250	Minor Plat (\$150.00) ment Request (\$100.00)  ion Fees: 0.00 + \$20.00 Acre) <sup>1</sup> Plan/Elevations/Landscaping Plan (\$1	100.00)	Other Application  [ ] Tree Remova  [ ] Variance Required  Notes:  1: In determining the per acre amount. For	l (\$75.00) uest (\$100.00 • fee, please use	the exact acreage	when multiply ound up to one	ring by the (1) acre.
PROPERTY INFO Address	RMATION [PLEASE PRINT]  295 Victory	lane					
Subdivision General Location	295 Victory Chandlers	Landir	19	Lot	16	Block	E
ZONING, SITE PL	AN AND PLATTING INFORM	ATION [PLEASE	PRINT]				
Current Zoning	PD8		Current Use	205 do	ntial		
Proposed Zoning	PD8		Proposed Use 7	esider	that		
Acreage		Lots [Current]	16		[Proposed]	16	
[ ] SITE PLANS AND	PLATS: By checking this box you acknowledge to address and the second se	ledge that due to tl	he passage of <u>HB3167</u> th	ne City no longe	er has flexibility v	vith regard to	its approval
process, una junui	e to dadress any of staff's comments by th	he date provided on	the Development Calend	ar will result in	the denial of your	case.	
<b>⋈</b> Owner	ant/agent information whittle & Joh	I [PLEASE PRINT/CH	[ ] Applicant	ACT/ORIGINAL	. SIGNATURES AR	E REQUIRED]	
Contact Person	Rob whitte	ווסטוו	Contact Person				
Address	P.O Box 360	(	Address				
City, State & Zip	Rockwall TX 7:	5087	City, State & Zip				
Phone	214 725 9115		Phone				
E-Mail	whittleeairmo	ail. net	E-Mail				
NOTARY VERIFIC Before me, the undersign his application to be true	ATION [REQUIRED] ed authority, on this day personally appea e and certified the following:	Rober	+ Whitte 10	wner] the und	ersigned, who s	tated the info	ormation on
bat the City of Day	the owner for the purpose of this applicat ication, has been paid to the City of Rockw (i.e. "City") is authorized and permitted to ny copyrighted information submitted in co	iall on this the 🔼	day of	, 20	the public. The Control of the public of the Control of the Contro	ng this applica City is also aut ASE TO A REQUE ASE TO A MICC	tion, I agree thorized and strongublic
iiven under my hand and	seal of office on this the 21 day o	Feskyn,	, 20 <u>20</u> .		MY CC	IOTARY PUB DMMISSION   6-27-2020 ARY ID# 130	EXPIRES
Notary Public in an	d for the State of Texas	Man		No. Com	mission Evnires	1.27	0000

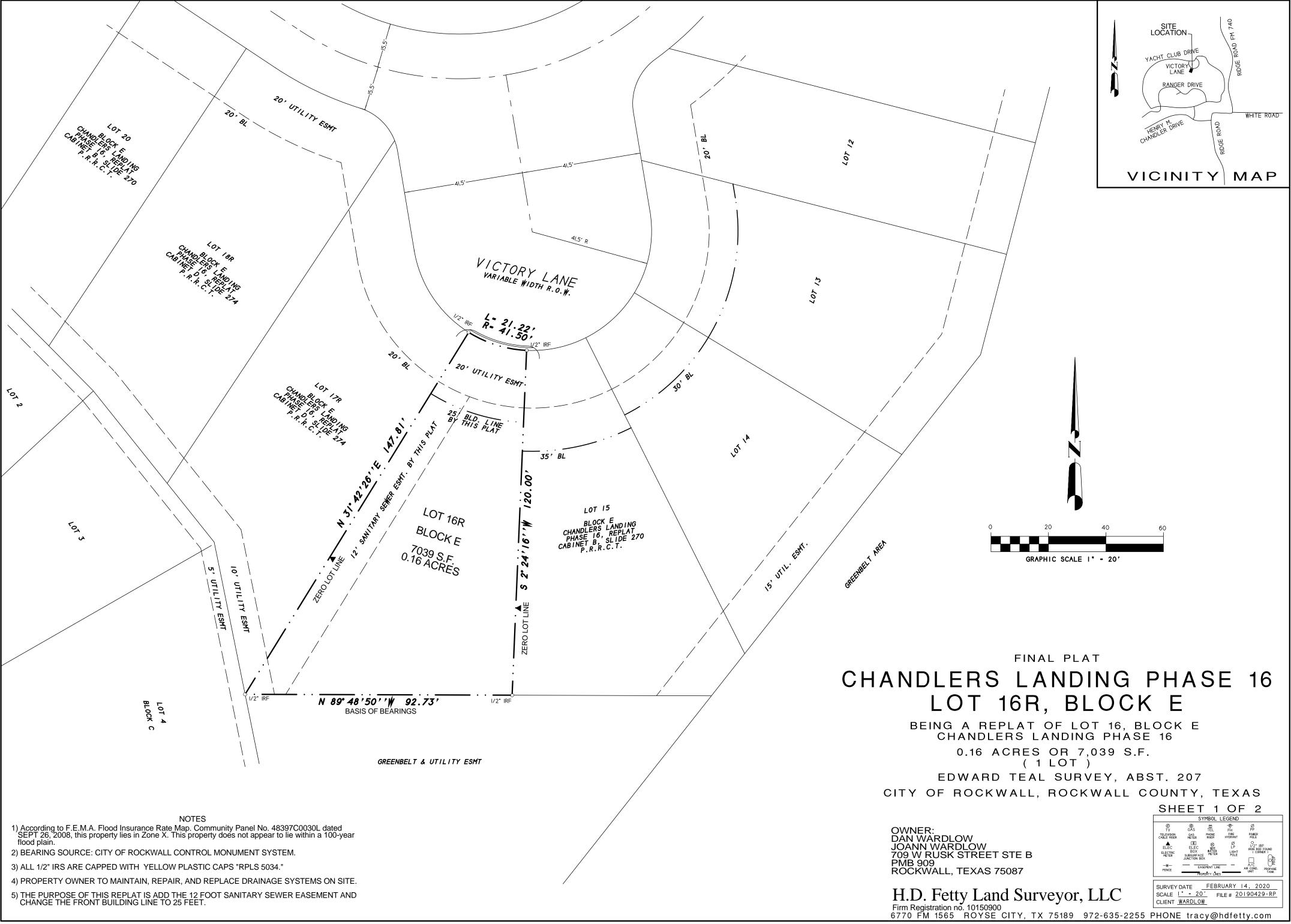




## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





#### OWNER'S CERTIFICATE (Public Dedication)

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS DAN WARDLOW and JOANN WARDLOW, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the EDWARD TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas, and being Lot 16, Block E, Replat of Part of Chandlers Landing Phase 16, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet B, Slide 270, Plat Records, Rockwall County, Texas. and being more particularly

BEGINNING at a 1/2" iron rod found for corner in the curving south right-of-way line of Victory Lane, at the northeast corner of Lot 16 and the northwest corner of Lot 15, Block E;

THENCE S. 02 deg. 24 min. 16 sec. W. along the common line between Lot 15 and Lot 16, a distance of 119.83 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 48 min. 50 sec. W. a distance of 92.73 feet to a 1/2" iron rod found for corner at the southeast corner of Lot 17R, Block E, Replat Chandlers Landgin Phase 16, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet D, Slide 274 of the Plat Records of Rockwall County,

THENCE N. 31 deg. 42 min. 26 sec. E. along the southeast boundary of Lot 17R, Block E, a distance of 147.74 feet to a 1/2" iron rod found for corner at the northeast corner of Lot 17R and northwest corner of Lot 16, Block E and in the curving couth right-of-way line of Victory Lane;

THENCE in a southeasterly direction along a curve to the left having a central angle of 29°24'05", a radius of 41.50 feet, a tangent of 10.89 feet, a chord of S 72°41'20"E, 21.06 feet and along said right-of-way line, an arc distance of 21.30 feet to the POINT OF BEGINNING and containing 7,039 square feet or 0.16 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as CHANDLERS LANDING PHASE 16, LOT 16R, BLOCK E, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. further certify that all other parties who have a mortgage or lien interest in CHANDLERS LANDING PHASE 16, LOT 16R, BLOCK E, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of the ir respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

DAN WARDLOW	
JOANN WARDLOW	
STATE OF TEXAS COUNTY OF ROCKWALL	
Before me, the undersigned authority, on this day personally a known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he execute consideration therein stated.	ie
Given upon my hand and seal of office thisday of	,,
Notary Public in and for the State of Texas My Co	ommission Expires:

were properly placed under my personal supervision.

SURVEYOR'S CERTIFICATE

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

Harold D. Fetty, III Registered Professional Land Surveyor No. 5034

HAROLD D. FETTY III . . . . . . . . . . . . . . . 5034

	ECOMMENDED FOR FINAL APPROVAL
--	-------------------------------

Planning and Zoning Commission

City Engineer

#### APPROVED

I hereby certify that the above and foregoing plat of CHANDLERS LANDING PHASE 16, LOT 16R, BLOCK E, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

VITNESS OUR HANDS, this	day of	··	
layor, City of Rockwall		City Secretary City of Rockwall	-

Date

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

TATE OF TEXAS OUNTY OF ROCKWALL	
Sefore me, the undersigned authority, on this day personally appeared JOANN WARDLOW nown to me to be the person whose name is subscribed to the person whose name is subscribed to the person whose name is subscribed to the person whose and personal persona	
Given upon my hand and seal of office thisday of,	

My Commission Expires:

Notary Public in and for the State of Texas

FINAL PLAT

# CHANDLERS LANDING PHASE 16 LOT 16R, BLOCK E

BEING A REPLAT OF LOT 16, BLOCK E CHANDLERS LANDING PHASE 16 0.16 ACRES OR 7,039 S.F.

( 1 LOT ) EDWARD TEAL SURVEY, ABST. 207

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS SHEET 2 OF 2

OWNER: DAN WARDLOW **JOANN WARDLOW** 709 W RUSK STREET STE B PMB 909 ROCKWALL, TEXAS 75087

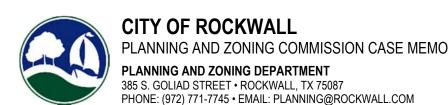
TELEVISION GAS PHONE FIRE POWER CABLE RISER METER RISER HYDRANT POLE SURVEY DATE FEBRUARY 14, 2020

SCALE <u>| " = 20'</u> FILE # <u>20190429-RP</u>

H.D. Fetty Land Surveyor, LLC Firm Registration no. 10150900

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com CITY CASE NO. P2020-

CLIENT WARDLOW



**TO:** Planning and Zoning Commission

**DATE:** March 10, 2020

**APPLICANT:** Jim Ziegler; *Pegasus Ablon* 

CASE NUMBER: P2020-011; Replat for Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition

#### **SUMMARY**

Discuss and consider a request by Jim Ziegler of Pegasus Ablon for the approval of a Final Plat for Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition being a 6.119-acre parcel of land identified as Lot 9, Block A, Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of Lakefront Trail and the IH-30 frontage road, and take any action necessary.

#### **PLAT INFORMATION**

- ☑ The applicant is requesting the approval of a replat for a 6.119-acre tract of land for the purpose of subdividing the property into three (3) lots [i.e. Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition], and to establish the necessary easements [i.e. 24-foot firelane, detention, drainage, and utility easements] for the construction of 375-unit condominium development and a parking garage with 180 public parking spaces.
- ☑ On January 15, 2019, the Planning and Zoning Commission approved a site plan for a 375-unit condominium development [Case No. SP2018-043] on the subject property. Prior to this approval, on June 17, 2013, the City Council approved Ordinance No. 13-16, which allocated 399 urban residential units (i.e. condominiums) to a concept plan that showed two (2) condominium buildings being constructed on the subject property (i.e. one [1] adjacent to Lakefront Trail consisting of 349-units and one [1] adjacent to the Harbor Fountain consisting of 50-units). This approval was later amended on December 18, 2017, when the City Council approved Ordinance No. 17-64. The new amendment allocated an additional 51-units to the previously entitled 399-units, bringing the total number of entitled units to 450 urban residential units.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the replat for Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition, staff would propose the following conditions of approval:

(1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;

- (2) The development shall conform the recommendations made by the Parks and Recreation Board at the January 3, 2019 meeting. The fees calculated for the development shall be the fees in place at the time of the approval of the final plat.
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

٠	STA	FF	<b>USE</b>	ONLY	+

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate	box below to indicate th	e type of development request (	(Resolution No. 05-22)	) [SELECT ONLY ONE BOX]:
------------------------------	--------------------------	---------------------------------	------------------------	--------------------------

Platting Application Fees:   Master Plat (\$100.00 + \$15.00 Acre)       Preliminary Plat (\$200.00 + \$15.00 Acre)       Final Plat (\$300.00 + \$20.00 Acre)       Replat (\$300.00 + \$20.00 Acre)       Amending or Minor Plat (\$150.00)       Plat Reinstatement Request (\$100.00)     Site Plan Application Fees:   Site Plan (\$250.00 + \$20.00 Acre)       Amended Site Plan/Elevations/Landscaping Plan (\$100.00)			Zoning Application Fees:  [ ] Zoning Change (\$200.00 + \$15.00 Acre) 1  [ ] Specific Use Permit (\$200.00 + \$15.00 Acre) 1  [ ] PD Development Plans (\$200.00 + \$15.00 Acre) 1  Other Application Fees: [ ] Tree Removal (\$75.00)  Notes:  1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.			
	PRMATION [PLEASE PRINT]					
Address						
Subdivision	TRACT 16 ABST.1			ADD. Lot 9 Block A		
General Location	S.E.C. LAKEFR	ONT TR. AT	1H-30			
ZONING, SITE P	LAN AND PLATTING IN	IFORMATION [PLEASE	PRINT]			
Current Zoning	PD . 32 ORD. 1	19 17-64	Current Use	VACANT & PARKING LOT		
Proposed Zoning				M.F. & PARKING GARAGE		
Acreage	7.358	Lots [Current]	2	Lots [Proposed] 3		
	ats: By checking the box at th Local Government Code.	e left you agree to waive t	he statutory time li	mit for plat approval in accordance with Section		
OWNER/APPLIC	ANT/AGENT INFORM	ATION [PLEASE PRINT/CH	ECK THE PRIMARY CO	ONTACT/ORIGINAL SIGNATURES ARE REQUIRED]		
[ ] Owner	ROCKWALL RENT			PEGASUS ABLON		
Contact Person			Contact Person	JIM ZIEGER		
Address	1600 WEST MORE	<u> </u>	Address	8222 DOUGLAS AVE.		
	DRAWER B			SUITE 390		
City, State & Zip	TERRELL, TX 7	5160	City, State & Zip	DALLAS, TX 75225		
Phone	972-210-033		Phone	214-389-6195		
E-Mail	-		E-Mail	Jziegler@PegasusAblon.com		
	CATION [REQUIRED] ned authority, on this day person ication to be true and certified th		Ziegler	[Owner/Applicant Name] the undersigned, who stated the		
the application fee of \$ _ , 20 By signing t the public. The City is a	his application I agree that the Ci	ost of this application, has be ity of Rockwall (i.e. "City") is o reproduce any copyrighted	en paid to the City of authorized and permit	ntion; all information submitted herein is true and correct; and Rockwall on this the day oftted to provide information contained within this application to ed in conjunction with this application, if such reproduction is		
Given under my hand an	d seal of office on this the $20$	_ day of Darenha	<u>r</u> , 20 <u>19</u> .	KRIS T STOKES		
Owne	r's/Applicant's Signature	\$ 3-	_	My Nolary ID # 11794392 Expires May 3, 2021		
Notary Public in a	nd for the State of Texas	2 taus		My Commission Expires May 3, 2021		

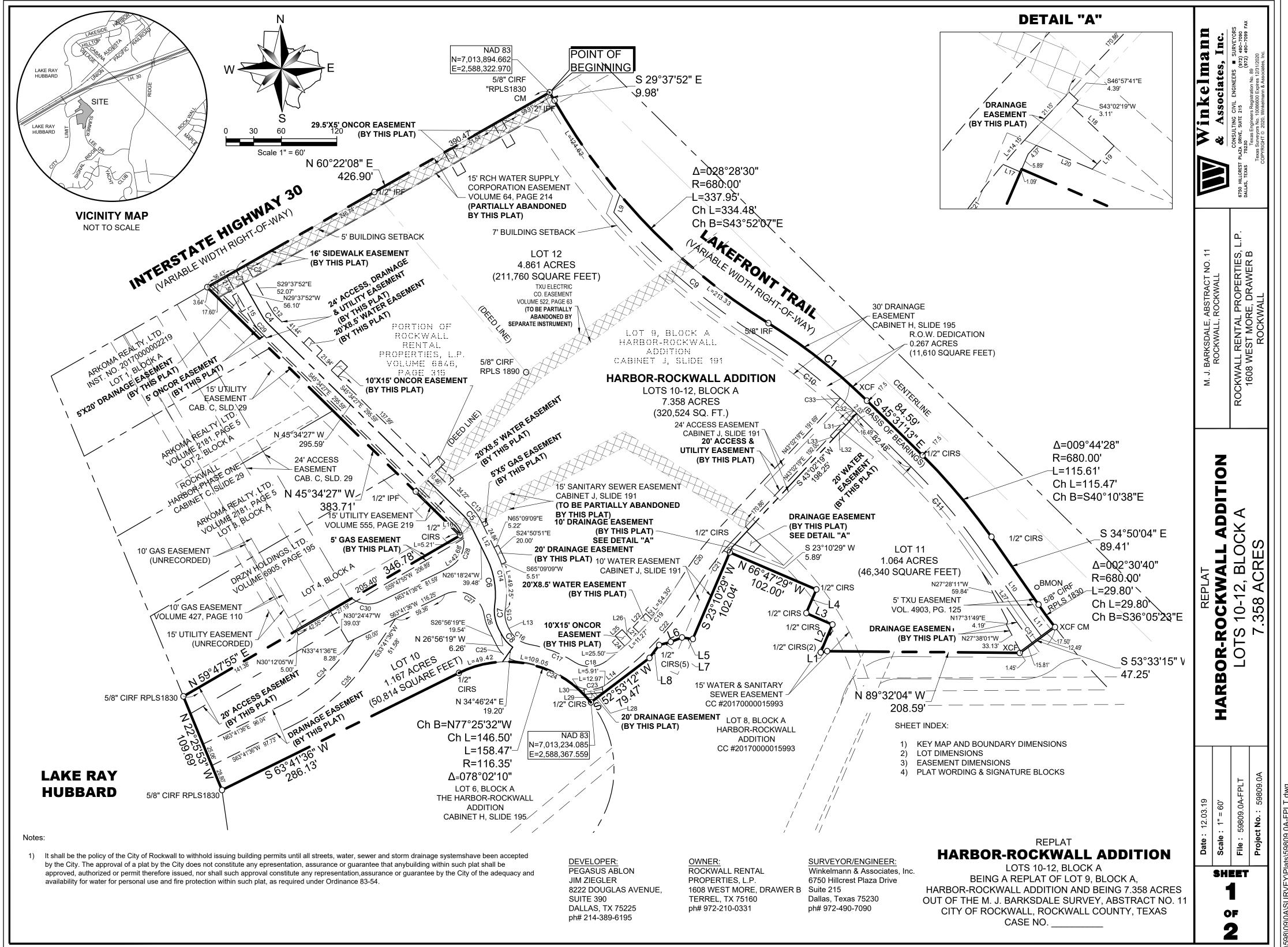




# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of

Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

City Secretary

WITNESS OUR HANDS, this day of , 20 .

STATE OF TEXAS COUNTY OF ROCKWALL

BEING a tract of land situated in the M. J. BARKSDALE SURVEY, ABSTRACT NO. 11, in the City of Rockwall, Rockwall County, Texas, and being all of Lot 9, Block A, Harbor Rockwall Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 191, (County Clerk's Instrument No. 20170000015993), Official Public Records, Rockwall, County, Texas, and a portion of the same tract of land described in deed to Rockwall Rental Properties, L.P. as recorded in Volume 6846, Page 315, Official Public Records, Rockwall County, Texas, and being more particularly described as

BEGINNING at a 5/8-inch iron rod with plastic cap stamped "RPLS 1830" found for the most Northerly corner of said Lot 9, Block A and being the intersection of the Southwesterly right-of-way of Lakefront Trail, a variable width right-of-way, with the Southeasterly right-of-way of Interstate Highway 30, a variable width right-of-way;

THENCE departing said Southeasterly right-of-way and along said Southwesterly right-of-way, the following courses and distances:

South 29 deg 37 min 52 sec East, a distance of 9.98 feet to a 1/2-inch iron pipe found for corner and the beginning of a curve to the left having a radius of 680.00 feet, a central angle of 28 deg 28 min 30 sec, a chord bearing of South 43 deg 52 min 07 sec East, and a chord length of 334.48 feet;

Along said curve to the left, an arc distance of 337.95 feet to a 5/8-inch iron rod found for corner and the beginning of a curve to the right having a radius of 620.00 feet, a central angle of 12 deg 35 min 10 sec, a chord bearing of South 51 deg 48 min 46 sec East and a chord length of 135.92 feet;

Along said curve to the right, an arc distance of 136.19 feet to an "X" cut in concrete found for corner;

South 45 deg 31 min 13 sec East, a distance of 84.59 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner and the beginning of a curve to the right having a radius of 680.00 feet, a central angle of 09 deg 44 min 28 sec, a chord bearing of South 40 deg 10 min 38 sec East and a chord length of 115.47 feet;

Along said curve to the right, an arc distance of 115.61 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;

South 34 deg 50 min 04 sec East, a distance of 89.41 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 1830" found for corner and the beginning of a curve to the left having a radius of 680.00 feet, a central angle of 02 deg 30 min 40 sec, a chord bearing of South 36 deg 05 min 23 sec East and a chord length of 29.80 feet;

Along said curve to the left, an arc distance of 29.80 feet to an "X" cut in concrete found for corner, said "X" cut being the most Easterly Southeast corner of said Lot 9, Block A;

THENCE departing the Southeasterly right-of-way of said Lakefront Trail and along the Southerly line of said Lot 9, Block A, the following courses and distances:

South 53 deg 33 min 15 sec West, a distance of 47.25 feet to an "X" cut in concrete found for corner;

North 89 deg 32 min 04 sec West, a distance of 208.59 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for

South 79 deg 07 min 41 sec West, a distance of 7.21 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;

North 23 deg 10 min 29 sec East, a distance of 32.93 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;

North 66 deg 36 min 24 sec West, a distance of 31.00 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;

North 23 deg 10 min 29 sec East, a distance of 27.95 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;

North 66 deg 47 min 29 sec West, a distance of 102.00 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for

South 23 deg 10 min 29 sec West, a distance of 102.04 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for

North 82 deg 38 min 15 sec West, a distance of 11.76 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;

South 75 deg 08 min 27 sec West, a distance of 12.97 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner; acknowledged to me that he executed the same for the purpose and consideration therein stated.

South 36 deg 32 min 06 sec West, a distance of 17.64 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner; Given upon my hand and seal of office this \_\_\_\_\_day of \_\_\_ South 52 deg 53 min 12 sec West, a distance of 79.47 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner

and the beginning of a non-tangent curve to the left having a radius of 116.35 feet, a central angle of 78 deg 02 min 10 sec, a chord bearing of North 77 deg 25 min 32 sec West and a chord length of 146.50 feet;

Along said non-tangent curve to the left, an arc distance of 158.47 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner:

THENCE South 63 deg 41 min 36 sec West, continuing along said south line, a distance of 286.13 feet to a 5/8-inch iron rod with plastic cap stamped ""RPLS 1830" found for the most Westerly Southwest corner of said Lot 9, Block A;

THENCE North 22 deg 25 min 53 sec West, along a west line of said Lot 9, Block A, a distance of 109.69 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 1830" found for corner, and being a Northwest corner of said Lot 9, Block A and the southwest corner of a tract of land as described in deed to DRZW Holdings, Ltd., recorded in Volume 6905, Page 195, Official Public Records, Rockwall County, Texas;

THENCE North 59 deg 47 min 55 sec East, along a north line of said Lot 9, Block A and the southeasterly line of said DRZW Holdings tract, a distance of 346.78 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner, said iron rod being the Southeast corner of said DRZW Holdings, tract;

THENCE North 45 deg 34 min 27 sec West, along the Westerly line of said Rockwall Rental Properties tract, a distance of 383.71 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner, said iron rod being situated in the Southeasterly right-of-way of said Interstate Highway 30;

THENCE North 60 deg 22 min 08 sec East, along said Southeasterly right-of-way, a distance of 426.90 feet to the POINT OF

CONTAINING within these metes and bounds 7.358 acres or 320,524 square feet of land, more or less. Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 8th day of January, 2018, utilizing a G.P.S. measurement (NAD 83) from the City of Rockwall, Texas - Control Monumentation, established May 6, 1999, Monument Nos. Reset #1 and R014.

**DEVELOPER: PEGASUS ABLON** JIM ZIEGLER 8222 DOUGLAS AVENUE, SUITE 390 DALLAS, TX 75225

ph# 214-389-6195

corner;

OWNER: ROCKWALL RENTAL PROPERTIES, L.P. 1608 WEST MORE, DRAWER B Suite 215 TERREL, TX 75160 ph# 972-210-0331

SURVEYOR/ENGINEER: Winkelmann & Associates, Inc. 6750 Hillcrest Plaza Drive Dallas, Texas 75230 ph# 972-490-7090

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

WE, ROCKWALL RENTAL PROPERTIES, L.P., the undersigned ownerS of the land shown on this plat, and designated herein as the HARBOR-ROCKWALL ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. we further certify that all other parties who have a mortgage or lien interest in the HARBOR-ROCKWALL ADDITION subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature	_
STATE OF TEXAS	

South 68 deg 52 min 14 sec West, a distance of 13.20 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner; Before me, the undersigned authority, on this day personally appeared ROCKWALL RENTAL PROPERTIES, L.P., known to me to be the person whose name is subscribed to the foregoing instrument, and

Notary Public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE

COUNTY OF

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Leonard J. Lueker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Registered Public Surveyor No Surveyor Signature

LINE TABLE LINE# **BEARING** DISTANCE L1 S79°07'41"W 7.21' L2 N23°10'29"E 32.93' N66°36'24"W L3 31.00' N23°10'29"E 27.95' L4 L5 N82°38'15"W 11.76' L6 S68°52'14"W 13.20' L7 S75°08'27"W 12.97' S36°32'06"W 17.64' L8 S19°31'45"W 20.19' L10 S34°50'04"E 89.53' L11 S36°05'23"E 30.10' S26°18'24"E L12 39.48' L13 S26°56'19"E 3.47' N52°53'12"E L14 14.60' S29°37'52"E L15 50.19' L16 N59°47'55"E 2.94' L17 N66°27'49"W 6.83' L18 S46°57'41"E 20.62' S43°02'19"W L19 11.54' L20 N66°47'29"W 21.92' L21 N47°16'43"W 8.50' L22 N42°43'17"E 20.00' S47°16'43"E L23 8.50' N42°34'28"W L24 15.00' N47°25'32"E L25 10.00' S42°34'28"E 15.00' L26 L27 S34°50'04"E 63.70' L28 S06°21'17"E 6.21' L29 S83°38'43"W 20.00' N06°21'17"W L30 6.21' L31 4.39' S45°34'02"E S43°02'19"W L32 19.89' N46°57'41"W L33 4.39'

Planning & Zoning Commission, Chairman

Council of the City of Rockwall on the \_\_\_\_\_day of \_\_\_

APPROVED:

Mayor, City of Rockwall

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C1	12°35'10"	620.00'	136.19'	135.92'	S51°48'46"E
C2	7°43'48"	30.00'	4.05'	4.04'	S25°45'58"E
С3	11°21'44"	30.00'	5.95'	5.94'	N35°18'44"W
C4	15°56'35"	42.00'	11.69'	11.65'	N37°36'10"W
C5	19°16'03"	42.00'	14.12'	14.06'	N35°56'26"W
C6	34°14'54"	87.00'	52.00'	51.23'	N09°10'57"W
C7	34°52'48"	43.00'	26.18'	25.77'	N09°29'55"W
C8	27°44'27"	40.00'	19.37'	19.18'	N40°48'33"W
C9	17°08'12"	697.50'	208.62'	207.84'	S49°32'16"E
C10	12°35'10"	602.50'	132.35'	132.08'	S51°48'46"E
C11	9°43'43"	662.50'	112.49'	112.36'	N40°10'38"W
C12	15°56'35"	30.00'	8.35'	8.32'	S37°36'10"E
C13	19°16'03"	54.00'	18.16'	18.07'	N35°56'26"W
C14	35°45'40"	99.00'	61.79'	60.79'	N08°25'34"W
C15	36°23'35"	31.00'	19.69'	19.36'	S08°44'31"E
C16	52°48'24"	30.00'	27.65'	26.68'	S53°20'31"E
C17	22°18'25"	137.35'	53.47'	53.14'	N68°35'30"W
C18	69°40'31"	30.00'	36.48'	34.28'	N87°43'27"E
C19	21°40'44"	320.00'	121.08'	120.36'	N42°02'50"E
C20	11°49'51"	330.00'	68.14'	68.02'	S37°07'24"W
C21	11°49'51"	310.00'	64.01'	63.90'	S37°07'24"W
C22	21°40'44"	340.00'	128.64'	127.88'	N42°02'50"E
C23	75°00'13"	30.00'	39.27'	36.53'	S89°36'41"E
C24	31°24'19"	117.35'	64.32'	63.52'	N67°48'44"W
C25	56°34'35"	30.00'	29.62'	28.43'	S55°13'36"E
C26	18°12'18"	55.00'	17.48'	17.40'	S17°50'10"E
C27	107°34'24"	30.00'	56.33'	48.41'	N62°31'12"W
C28	109°16'03"	30.00'	57.21'	48.93'	N09°03'34"E
C29	15°56'35"	54.00'	15.03'	14.98'	S37°36'10"E
C30	63°51'08"	30.00'	33.43'	31.73'	S84°22'50"E
C31	2°28'21"	710.00'	30.64'	30.64'	S36°04'15"E
C32	31°19'30"	2.00'	1.09'	1.08'	S58°42'04"W
C33	2°46'54"	30.00'	1.46'	1.46'	N41°38'52"E
C34	30°00'00"	187.50'	98.17'	97.06'	N48°41'36"E
1	1	1			

City Engineer

## REPLAT HARBOR-ROCKWALL ADDITION

111.26' | 110.00' | N48°41'36"E

212.50'

C35 30°00'00"

LOTS 10-12, BLOCK A BEING 7.358 ACRES OUT OF THE M. J. BARKSDALE SURVEY, ABSTRACT NO. 11 ROCKWALL, ROCKWALL CASE NO.

SHEET **OF** 



TO: Planning and Zoning Commission

**DATE:** March 10, 2020

**APPLICANT:** Daniyal M. Awan; Plutus21 Development Fund 5, LLC

CASE NUMBER: SP2019-049; Site Plan for Waters Edge at Lake Ray Hubbard

#### **SUMMARY**

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a <u>Site Plan</u> for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

#### **BACKGROUND**

The subject property was annexed in 1973 [Ordinance No. 73-41] is zoned Planned Development District 22 (PD-22) for marina, retail, office, and apartment/condominium land uses and is addressed as 2000-2038 Portofino Circle. On November 4, 1984, the City Council approved Ordinance No. 83-18, which established the development standards for Planned Development District 22 (PD-22), which was later amended by Ordinance No. 84-52. On June 19, 2000, the City Council approved a request [Case No. PZ2000-043] for a final plat for Lot 1, Block A, Villas De Portofino Addition. On June 2, 2001, the City Council approved a request [Case No. PZ2000-120] for a site plan for a 74-unit condominium development (i.e. Villas De Portofino, Phase 11) on the subject property. The development was later constructed; however, there is a remainder tract of land that was never developed (i.e. the subject property).

#### **PURPOSE**

The applicant is requesting approval of site plan for the purpose of constructing two (2) multi-family condominium buildings on the subject property.

#### ADJACENT LAND USES AND ACCESS

The subject property is located at 2000-2038 Portofino Circle. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property is a hotel (*i.e. Hilton Bella Harbor*) followed by Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this, there is a single-family residential subdivision (*i.e. Lago Vista Subdivision*) and the Harbor. These areas are zoned Planned Development District 7 (PD-7), Planned Development District 19 (PD-19), and Planned Development District 32 (PD-32) for General Retail (GR) District, zero-lot-line single-family, and townhouse land uses.

South:

Directly south of the subject property there is a multi-family residential subdivision (*i.e. Signal Ridge Subdivision*) followed by another residential subdivision (*i.e. Chandlers Landing*). Beyond this is Yacht Club Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Further south, there are several more single-family homes and condominiums within the Chandlers Landing Subdivision. These areas are zoned Planned Development District 15 (PD-15) and Planned Development District 8 (PD-8) for single-family and multifamily land uses.

<u>East</u>: Directly east of the subject property, there is a condominium building (*i.e.* Waters Edge at Lake Ray Hubbard) followed by several condominium buildings that are part of the Signal Ridge, Phase 1 Subdivision. These areas are zoned Planned Development District 22 (PD-22) and Planned Development District 15 (PD-15) for Multi-Family 14 (MF-14) District land uses. Following this is Single Ridge Place, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan.

<u>West</u>: Directly west of the subject property, there are several condominium buildings that are part of the Waters Edge at Lake Ray Hubbard Subdivision. This area is zoned Planned Development District 22 (PD-22) for Multi-Family 14 (MF-14) District land uses. Beyond this is the Takeline and Lake Ray Hubbard, which are located within the City of Dallas.

#### **DENSITY AND DIMENSIONAL REQUIREMENTS**

The applicant is proposing to construct two (2) condominium buildings that will include six (6) units each. The proposed land use is permitted by-right in Planned Development District 22 (PD-22) and will not require any additional approvals with regard to land use. The proposed buildings will utilize the same architectural design and materials as the existing buildings. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within Planned Development District 22 (PD-22). A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	10,000 SF	X=286,476 SF; In Conformance
Minimum Lot Frontage	60-Feet	X=190-Feet; In Conformance
Minimum Lot Depth	100-Feet	X=155-777-Feet: In Conformance
Minimum Front Yard Setback	25-Feet	X=25-Feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X=10-Feet; In Conformance
Minimum Side Yard Setback	10-Feet	X=10-Feet; In Conformance
Maximum Building Height	36-Feet	X=35-Feet; In Conformance
Max Building/Lot Coverage	45%	X=9%; In Conformance
Minimum Number of Parking Spaces	24-Spaces	X=27-Spaces; In Conformance

#### **TREESCAPE PLAN**

The applicant has indicated that there are no protected trees requiring mitigation on the subject property.

#### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 03.12, *Multi-Family 14 (MF-14) District*, of Section 03, Residential Districts, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Multi-Family 14 (MF-14) District is the proper zoning classification for higher density developments. This zoning district should be located within 1,200-feet of retail and other services and should not contain more than 500 units within one (1) mile of another multi-family development. The Multi-Family 14 (MF-14) District allows high density developments that should not run traffic though single-family neighborhoods and should be located close to an arterial or collector street that is capable of carrying the additional traffic. The subject property is zoned Planned Development District 22 (PD-22), which allows Multi-Family 14 (MF-14) District land uses. Additionally, the subject property is located within close proximity to a *Minor Collector (i.e. Summer Lee Drive)*, which is capable of carrying high volumes of traffic. The proposed development is located within close proximity to the Harbor, which provides retail and other services to this development. Due to these reasons, the applicant's request appears to conform to the requirements stipulated in the Unified Development Code (UDC).

#### CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Harbor District. The Harbor District is an entry portal into the City of Rockwall and is intended to provide a pedestrian oriented, mixed-used district that accommodates residential, non-residential, and public spaces. The district is characterized by the live, work, and play environment that will be provided through professional offices, scenic condominiums, and an abundance of shopping,

restaurants, entertainment, and recreational opportunities. The Harbor District is intended to act as a regional commercial center that offers a unique alternative to the small town, local shopping options provided in the City's Downtown Square. District strategies include the development of mixed-use areas, utilizing neighborhood/convenience centers as a transition from the adjacent mixed-use district, and residential infill development that is compatible with the surrounding structures. In this case, the applicant is proposing to construct two condominium buildings on the subject property. In addition, the applicant is proposing to utilize an architectural style and materials that match the existing condominiums within the area. Due to this, the applicant's request appears to be in conformance with the guidelines outlined in the Comprehensive Plan.

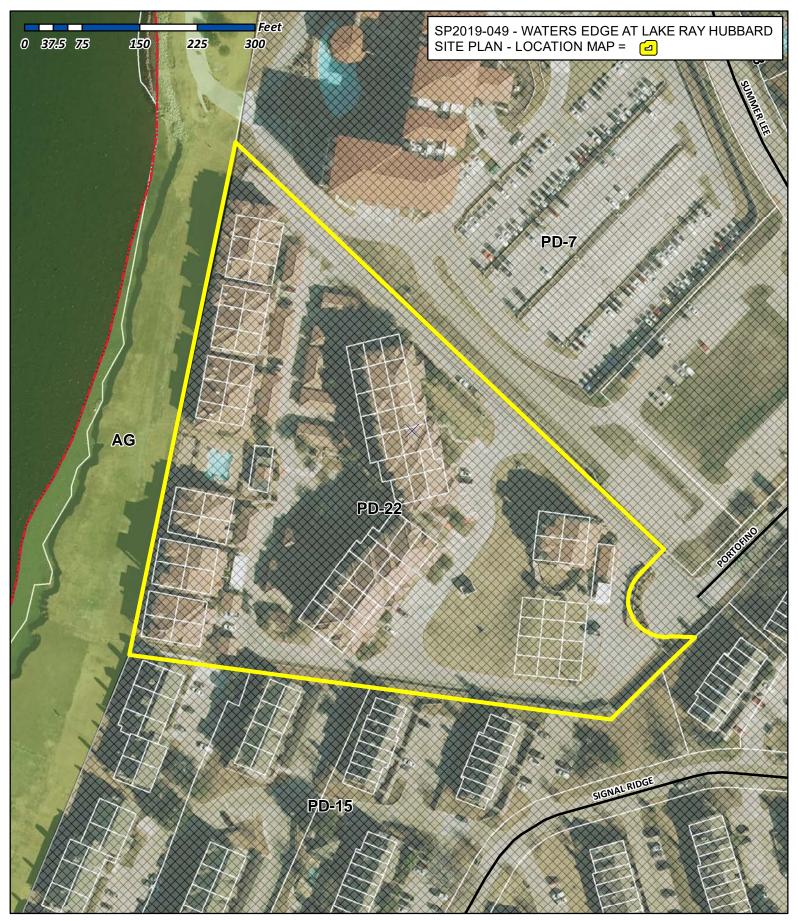
#### **ARCHITECTURAL REVIEW BOARD (ARB):**

The Architectural Review Board will review the proposed building elevations and will forward a recommendation to the Planning and Zoning Commission at the meeting on March 10, 2020.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

(1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

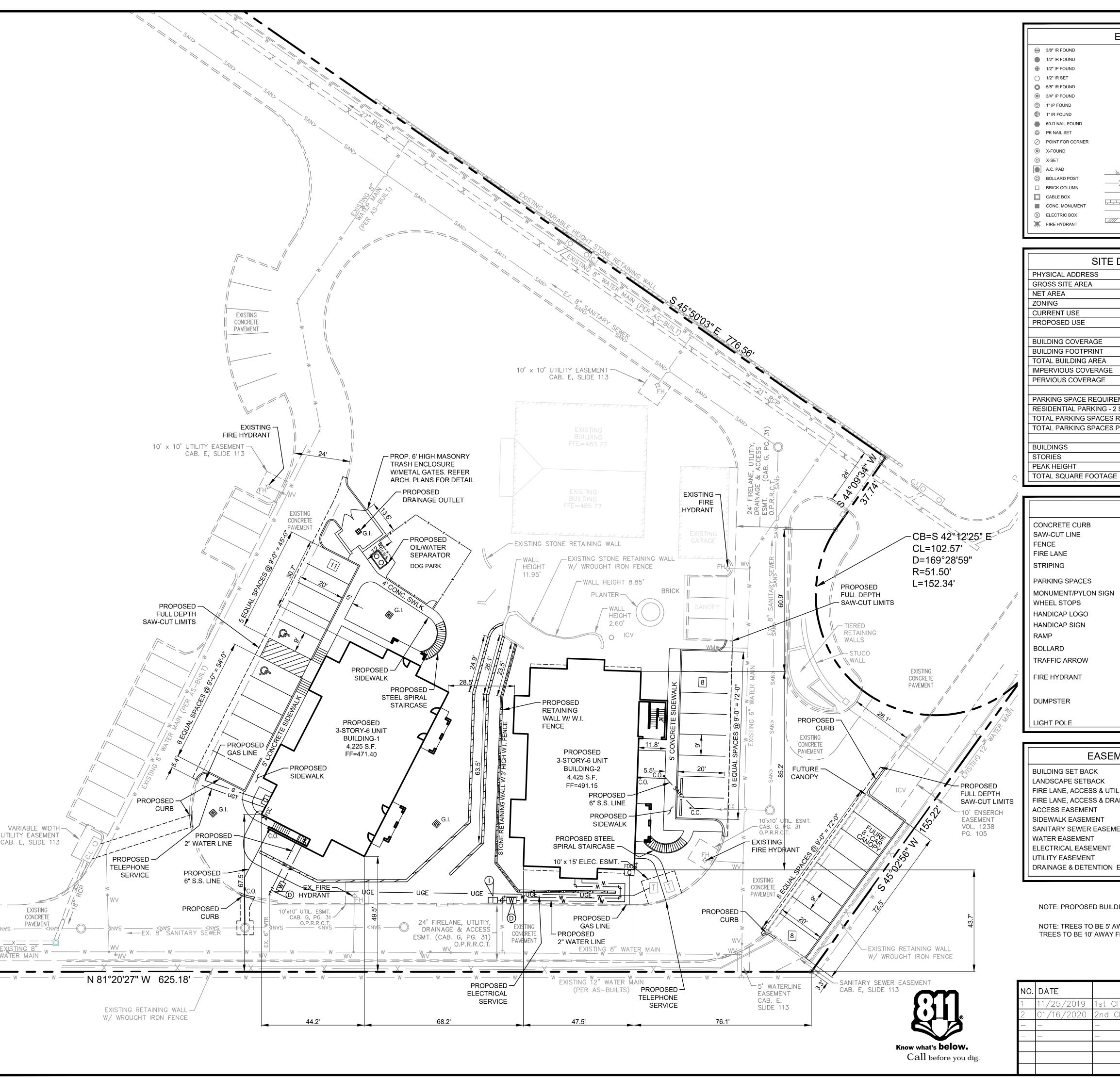


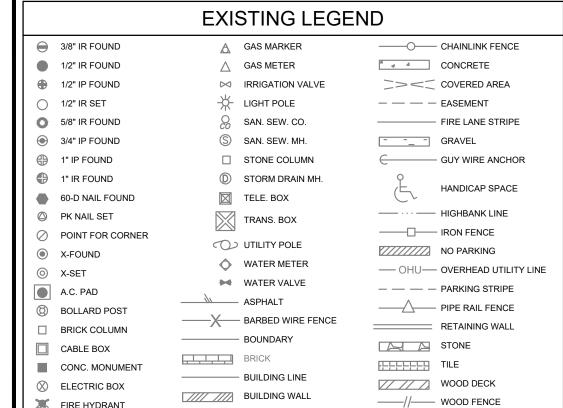


# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







SITE DATA SUMMARY TABLE					
PHYSICAL ADDRESS	PORTOFINO DRIVE				
GROSS SITE AREA	287,476 S.F. / 6.60 ACRES				
NET AREA	T.B.D.				
ZONING	PD-22				
CURRENT USE	CONDOMINIMUMS				
PROPOSED USE	CONDOMINIMUMS				
LOT C	COVERAGE DATA				
BUILDING COVERAGE	25,950 S.F. (%)				
BUILDING FOOTPRINT	8,650 S.F. (%) 1,650 S.F. GARAGE				
TOTAL BUILDING AREA	25,950 S.F. (%)				
IMPERVIOUS COVERAGE	_, S.F. (%)				
PERVIOUS COVERAGE	_, S.F. (%)				
PARKING SUMMARY					
PARKING SPACE REQUIREMENTS					
RESIDENTIAL PARKING - 2 SPACES	S PER UNIT				
TOTAL PARKING SPACES REQUIRED = 24					
TOTAL PARKING SPACES PROVIDED = 27					
BUILDING DATA					
BUILDINGS	2 BUILDINGS & 1 GARAGE				
STORIES	3				
PEAK HEIGHT	35'-0"				

25,950 S.F.

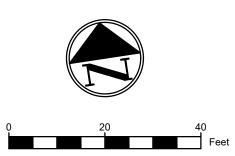
	SITE LEGEND
CONCRETE CURB	
SAW-CUT LINE	<del></del>
FENCE	X
FIRE LANE	
STRIPING	
PARKING SPACES	9
MONUMENT/PYLON SIGN	
WHEEL STOPS	
HANDICAP LOGO	<b>5.</b>
HANDICAP SIGN	
RAMP	
BOLLARD	•
TRAFFIC ARROW	<b>→</b>
FIRE HYDRANT	<del>-</del>
DUMPSTER	
LIGHT POLE	

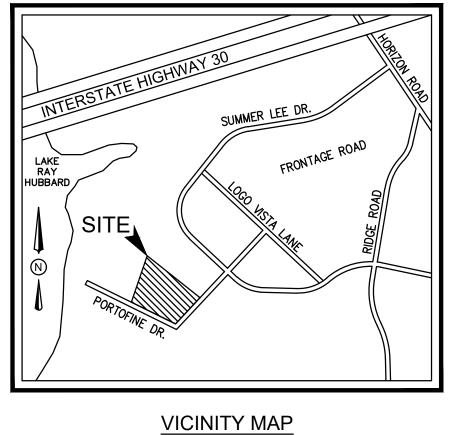
EASEMENT/SETBACK LEGEND					
BUILDING SET BACK	B.S.				
LANDSCAPE SETBACK	L.S.				
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.				
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.				
ACCESS EASEMENT	A.E.				
SIDEWALK EASEMENT	S.E.				
SANITARY SEWER EASEMENT	S.S.E.				
WATER EASEMENT	W.E.				
ELECTRICAL EASEMENT	E.E.				
UTILITY EASEMENT	U.E.				
DRAINAGE & DETENTION EASEMENT	D.D.E.				

NOTE: PROPOSED BUILDING COLORS AND MATERIALS TO MATCH EXISTING BUILDINGS.

NOTE: TREES TO BE 5' AWAY FROM PUBLIC UTILITY LINES LESS THAN 10". TREES TO BE 10' AWAY FROM PUBLIC UTILITY LINES THAT ARE 10" OR GREATER.

NO.	DATE	DESCRIPTION	BY
1	11/25/2019	1st CITY SUBMITTAL	KP
2	01/16/2020	2nd CITY SUBMITTAL	KP
_	_	_	KP
_	_	_	KP





### **GENERAL NOTES**

- 1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
- 2. A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
- 3. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- 4. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
- 5. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.
- 6. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
- 7. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- 8. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
- 9. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

WATER METER & SANITARY SEWER SCHEDULE							
ID TYPE SIZE NO. SAN. SEW.							
٥	DOM.	2"	2	6"			
	IRR.	1"	1	N/A			

SP2019-049
SITE PLAN
WATER'S EDGE AT LAKE RAY HUBBARD
PORTOFINO DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

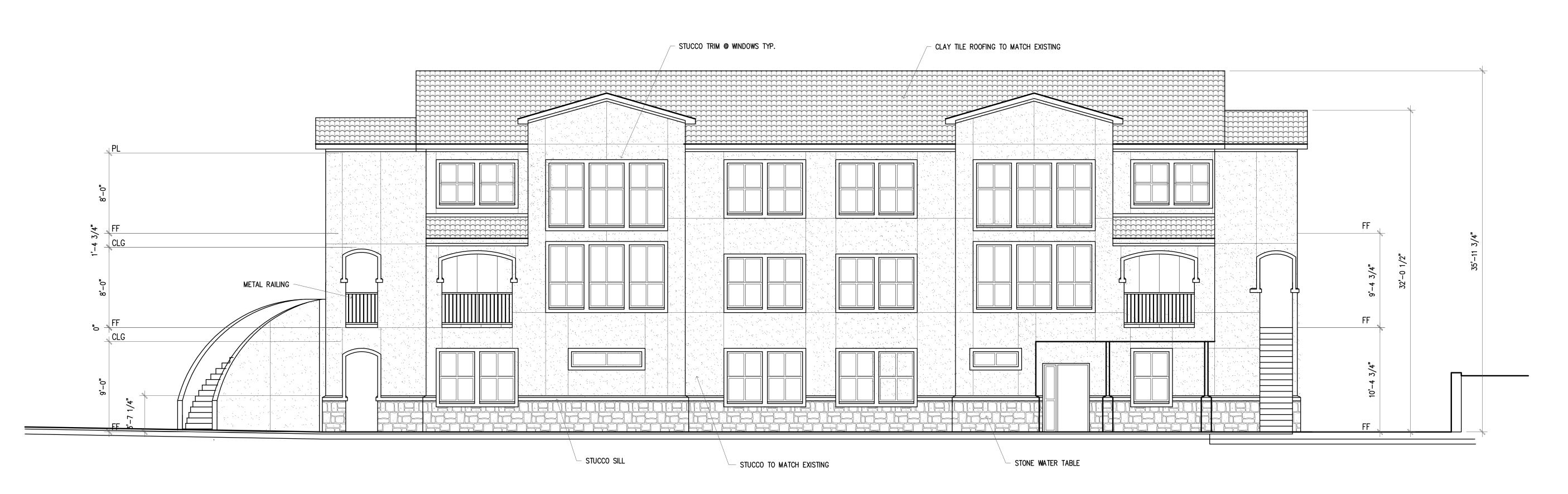


TX PE FIRM #11525

KARTAVYA S. PATE

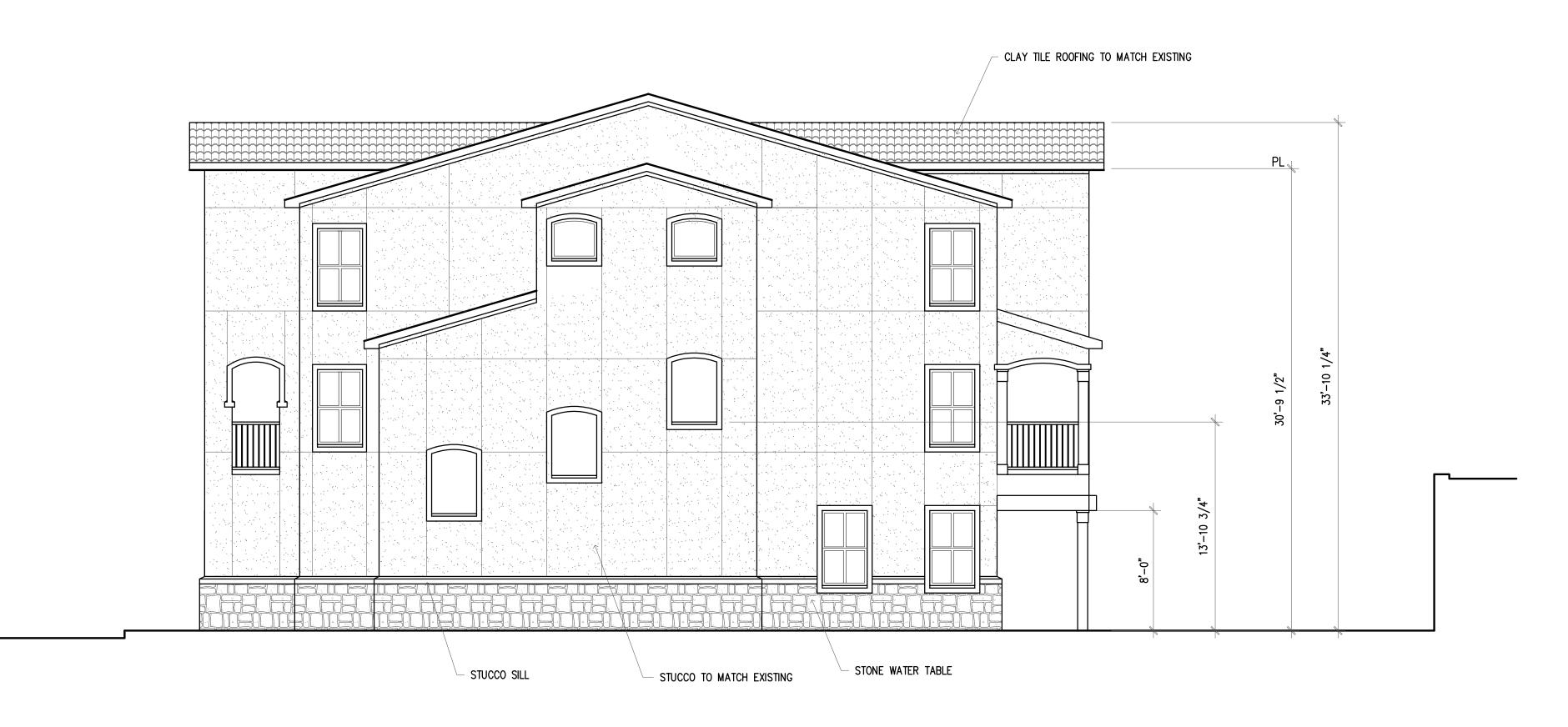
97534

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com Planning | Civil Engineering | Construction Managemen DESIGN DRAWN DATE SCALE PROJECT NO. SHEET NO. MLM 11/7/2019 SEE SCALE BAR



# NORTH ELEVATION

100% MASONRY 10% STONE 90% STUCCO



WEST ELEVATION

100% MASONRY 9% STONE 91% STUCCO

NOTE: ALL NEW BUILDING ELEVATIONS SHALL MATCH COLORS TO THE EXISTING SURROUNDING BUILDINGS. THIS BUILDING HAS SIX INDIVIDUAL LIVING UNITS.

## PRICING & CONSTRUCTION

### GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- 3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

CASE #SP2020-000

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OWNER
PLUTUS21 DEVELOPMENT 6116 N. CENTRAL EXPWY #700 DALLAS, TEXAS 75206

Checked: WM SHEET **A6** 

Project No.: 190602

Designed: GW

Drawn: GW

Scale:

NOI.

TERIOR

3/16" = 1'-0"

MM/DD/YY



# **SOUTH ELEVATION**

100% MASONRY 10% STONE 90% STUCCO



EAST ELEVATION
100% MASONRY 9% STONE 91% STUCCO

NOTE: ALL NEW BUILDING ELEVATIONS SHALL MATCH COLORS TO THE EXISTING SURROUNDING BUILDINGS.
THIS BUILDING HAS SIX INDIVIDUAL LIVING UNITS.

## PRICING & CONSTRUCTION

### GENERAL NOTES:

- 1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
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CASE #SP2020-000

6116 N. CENTRAL EXPWY #700 DALLAS, TEXAS 75206

OWNER PLUTUS21 DEVELOPMENT

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WITHOUT PERMISSION FROM MERSHAWN.

BBARD CHURCHES CHURCHES CHURCHES AND By ROCKWALL, TEXAS 75087

KTERIOR ELEVATIO

Scale: 3/16" = 1'-0"

Date: MM/DD/YY

Project No.: 190602

Designed: GW

Designed: GW

Drawn: GW

Checked: WM

SHEET

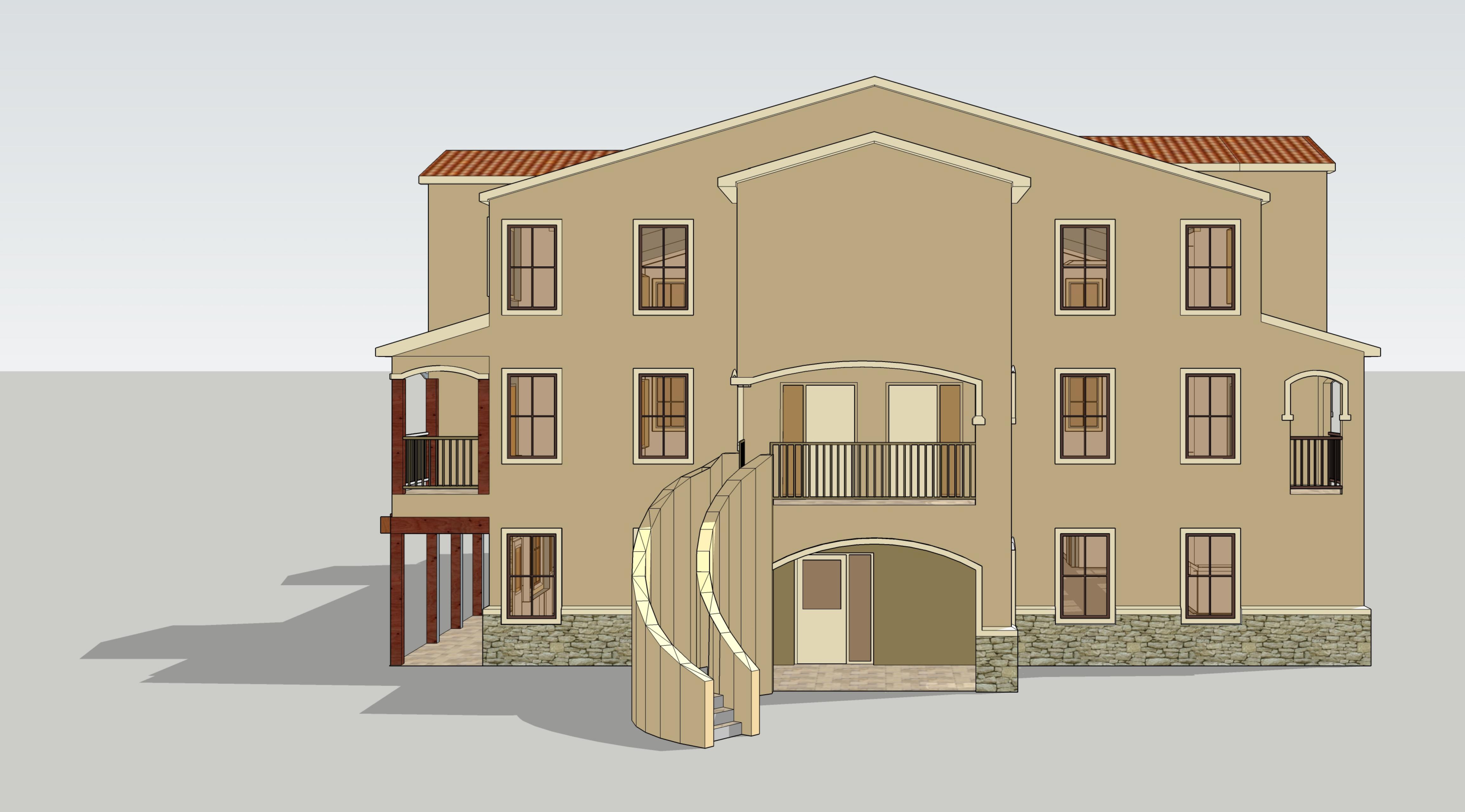
SHEET A7

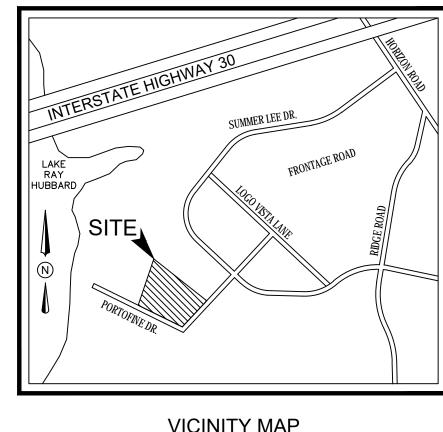












### DI ANT MATERIAL SCHEDILLE

INCLUDE RAIN AND FREEZE SENSORS.

OTHERWISE NOTED ON THE DRAWINGS.

LANDSCAPE NOTES

STRUCTURES.

CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND

3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED

4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL

5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL

UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL

7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS

6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN

EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR

UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS.

VICINITY OF UNDERGROUND UTILITIES.

LANDSCAPE AND IRRIGATION PERMITS.

SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.

CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE

-CB=S 42° 12'25" E

CL=102.57'

PORTOFINO DRIVE

(60' RIGHT-OF-WAY) VOL. 382, PG. 205 O.P.R.R.C.T.

┌S 4,6°31'49",É

EASEMENT

VOL. 1238 PG. 105

SIGNAL RIDGE NO. 2 CAB. B, PG. 73

O.P.R.R.C.T.

-EXISTING RETAINING WALL

SANITARY SEWER EASEMENT

CAB. E, SLIDE 113

−N 46°48'12" W

24.33'

W/ WROUGHT IRON FENCE

D=169°28'59"

R=51.50'

L=152.34'

CONCRETE PAVEMENT

RETAINING

WALLS

RIM = 492.30'

-5' WATERLINE

EASEMENT

CAB. E, SLIDE 113

NE-8"/FL=480.90'

EXISTING

CONCRETE PAVEMENT

10' x 10' \\
UTILITY

EASEMENT

variable -

WIDTH UTILITY

EASEMENT

CURB INLET

TOP = 467.84'18" FL=463.09'

STMMH-

RIM = 466.90

N 81°20'27" W 625.18'

EXISTING RETAINING WALL -

W/ WROUGHT IRON FENCE

10' x 10'

EASEMENT

**EXISTING** BUILDING

FFE=483.77

EXISTING BUILDING

FFE=485.77

11 11 11 11 11 11 11 11 11

-EXISTING STONE RETAINING WALL

HEIGHT

11.95'

EXISTING

GARAGE

CONCRETE

PAVEMENŢ

-EXISTING STONE RETAINING WALL

W/ WROUGHT IRON FENCE

- WALL HEIGHT 8.85'

PROPOSED

3-STORY

/4,425 S.F.

FF=491.15

3-STORY
BUILDING-2

14 425 S F

SOLID SOD BERMUDA GRASS

TYPICAL FOR ALL TURF AREAS

(PER AS-BUILTS)

HEIGHT 2.60'

SOLID SOD BERMUDA GRASS TYPICAL FOR ALL TURF AREAS

OT 1A 0.6676 AC

(29,083 S.F.)

24' FIRELANE, UTLITIY,

ESMT. | (CAB. | G, PG. | 31)

SIGNAL RIDGE NO. 3 CAB. B, PG. 89

O.P.R.R.C.T.

DRAINAGE & ACCESS

PROPOSED

3-STORY

BUILDING-1

24,225 S.F.

FF=471.40

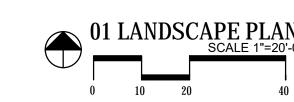
RIM = 480.76

W-8" FL=4\_\_\_\_

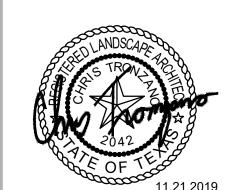
E-8" FL=4\_\_\_\_

PLANT TREES					
ГҮРЕ	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CM LO	6 6	Crepe Myrtle 'Dallas Red' Live Oak	Lagerstroemia indica 'Dallas Red' Quercus virginiana	6' ht. 3" cal.	container, 3 or 5 trunks, 4' spread min.,tree form container, 13' ht., 5' spread, 5' clear straight trun k
SHRUBS					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DYH IH LOR	14 11 24	Dwarf Yaupon Holly Indian Hawthorn 'Clara' Loropetalum 'Ruby'	llex vomitoria 'nana' Rhaphiolepis indica 'clara' Loropetalum chinensis 'Ruby'	5 gal. 5 gal. 5 gal.	container, 18" ht., 18" spread container, 20" ht., 20" spread container, 20" ht., 20" spread
NPH	27	Needlepoint Holly	Ilex comuta "Needlepoint'	5 gal.	container , 24" ht., 20" spread
	DCOVERS	COMMONINAME	DOTANICAL NAME	CIZE	DEMADIZO
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	Cynodon dactylon '419'		Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



LANDSCAPE ARCHITECT STUDIO GREEN SPOT, INC. 1784 W. McDERMOTT DR. SUITE 110 ALLEN, TEXAS 75013 (469) 369-4448 CHRIS@STUDIOGREENSPOT.COM



LAKE RAY EDGE

HUBBARD

ISSUE: FOR APPROVAL 11.21.2019

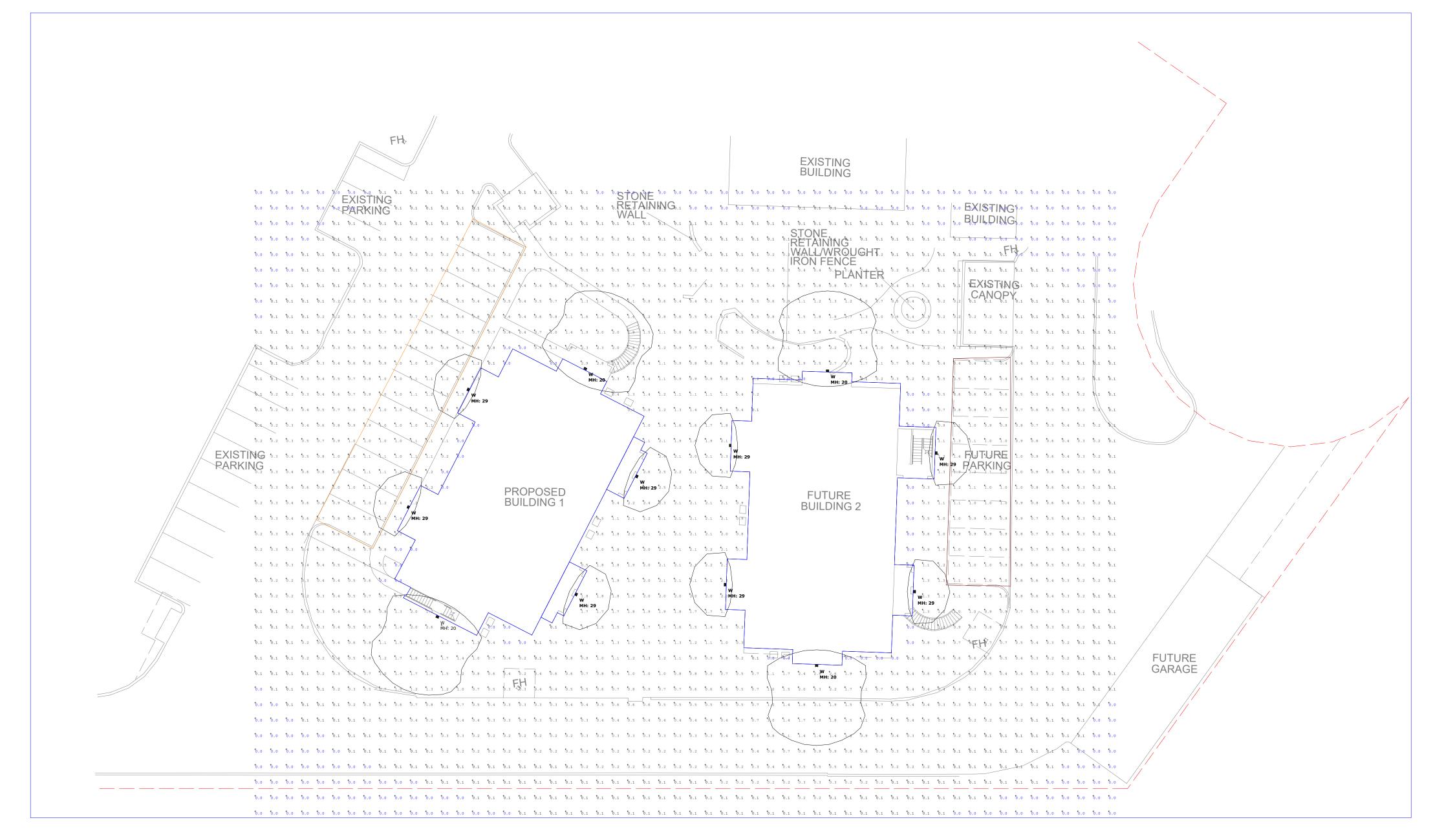
WATER!

DATE:

SHEET NAME: LANDSCAPE PLAN

11.21.2019

SHEET NUMBER:



Luminaire Sched	ule						
Symbol Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
→ W	12	LITHONIA WDGE2 LED P3 40K 80CRI VW VOLTAGE MOUNTING FINISH	3214	22.55	1.000	0.808	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.53	2.9	0.0	N.A.
PARKING1		Fc	0.83	1.4	0.1	8.30
PARKING2		Fc	0.90	1.4	0.3	3.00

PARKING1

Illuminance (Fc)
Average = 0.83

Maximum = 1.4

Minimum = 0.1

Avg/Min Ratio = 8.30

Max/Min Ratio = 14.00

Illuminance (Fc)
Average = 0.90
Maximum = 1.4
Minimum = 0.3
Avg/Min Ratio = 3.00
Max/Min Ratio = 4.67

PARKING2

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.

2. Calculation values are at height indicated in summary table.

3. Mounting heights are designated on drawing with "MH."

4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.

5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.

6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.

7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



**TO**: Planning and Zoning Commission

**DATE:** March 10, 2020

APPLICANT: Chris Kehrer; Titan Contractors

CASE NUMBER: Z2020-001; Zoning Change from Agricultural (AG) District to Single-Family (SF-1) District for

844 Zion Hill Circle

#### **SUMMARY**

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle, and take any action necessary.

#### **BACKGROUND**

The City Council approved Ordinance No. 10-01, annexing the subject property on January 4, 2010. According to Rockwall Central Appraisal District (RCAD) records, the primary structure on the subject property was constructed in 1978, and has a 1.988 SF main living area, a 483 SF attached garage, and two (2) covered porches (i.e. 240 SF & 160 SF). On November 27, 2019, the applicant -- who is the contractor and not the property owner -- submitted a building permit proposing the construction of a ~4,812 SF accessory structure that consisted of a 1,620 SF carport, a 792 SF covered porch, and a 2,400 SF detached garage. During the permit review process, the applicant was informed that the size of the carport and detached garage would require a Specific Use Permit (SUP), unless the plans were revised to reduce the size of the carport to 500 SF or less and either [1] reduce the detached garage to 620 SF or less, or [2] attach the entire structure to the primary structure. In late January 2020, the applicant submitted revised plans proposing to remove the carport and add an eight (8) foot awning attaching the structure to the primary structure. On February 7, 2020, the Building Inspections Department issued a building permit based on the revised plans; however, later the same day a Building Inspector reported that the applicant had already constructed the majority of the building based on the plans that were provided with the original building permit (i.e. a 2,400 SF detached garage with a 1,620 SF carport, and a Stop Work Order was issued by the Building Inspections Department. It should be noted, that at the time the Stop Work Order was issued, the Building Inspector noted that the detached garage was built as a secondary guest quarters (i.e. it incorporated air-conditioned space and plumbing). Staff should also note that the property owner was unaware that a building permit had not been issued for the structure. Based on these events the Building Inspections Department issued three (3) citations to the contractor (i.e. the applicant) on the grounds of failure to comply with the construction standards.

Based on the events that transpired, the Planning and Zoning Department has recommended that the applicant adhere to the following chronological steps to request approval of the structure as it was built: [1] the property needs to be rezoned from an Agricultural (AG) District to a Single-Family One (SF-1) District, and [2] the property owner needs to request a Specific Use Permit (SUP) for a secondary living unit/guest quarters, and an enlarged carport and detached garage. Alternatively, the applicant can choose to redesign the structure to attach it to the primary structure. Regardless, of how this is remedied the applicant will be required to submit updated plans to the Building Inspections Department that reflect exactly what was and will be constructed on the property.

#### **PURPOSE**

On February 12, 2020, the applicant -- *Chris Kehrer* -- submitted an application requesting to change the zoning on the *subject property* from an Agricultural (AG) District to a Single-Family One (SF-1) District.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 844 Zion Hill Circle. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are single-family homes located within the Zion Hills Subdivision followed by a vacant tract of land. These properties are zoned Agricultural (AG) District with the exception of two (2) of the properties, which are zoned Single Family 1 (SF-1) District. Beyond this is Cornelius Road, which is identified as an M4U (major collector, four [4] lane, undivided roadway) according to the City's Master Thoroughfare Plan. This roadway delineates the corporate limits of the City of Rockwall.

<u>South</u>: Directly south of the subject property are single-family homes located within the Zion Hills Subdivision that are zoning Agricultural (AG) District. Beyond the single-family homes is SH-66, which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan.

<u>East</u>: Directly east of the subject property is a single-family home located within the Zion Hills Subdivision followed by FM-3549 [i.e. *N. Stodghill Road*], which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. This roadway delineates the corporate boundaries of the City of Rockwall. All of these properties are zoned Agricultural (AG) District.

<u>West</u>: Directly west of the subject property are single-family homes located within the Zion Hills Subdivision followed by two (2) landscaping businesses (*i.e. North Texas Lawns & Landscape and Landscape Source*) located along SH-66. These properties are zoned Agricultural (AG) District.

### CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for the purpose of facilitating the ability to submit an application to request a Specific Use Permit (SUP) for a secondary living unit/guest quarters and an enlarged carport and detached garage. Currently, the Agricultural (AG) District does allow the *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* land use, but does not allow the *Residential Accessory Building or Structure* land use. The reason for this exclusion is to incentivize smaller properties (*i.e. properties less than ten [10] acres*) to rezone in accordance to the Future Land Use Plan.

### **INFRASTRUCTURE**

The primary structure on the subject property was constructed with an on-site sanitary sewer facility (OSSF) and is served water by Mt. Zion Water Supply Corporation; therefore, the applicant's request does not require any infrastructure improvements.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 03.05, Single-Family 1 (SF-1) District, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(t)he Single-Family 1 (SF-1) District is the proper zoning classification for larger, single-family lots that are a minimum of one (1) acre in size ... (t)hese developments are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, the Zion Hills Subdivision was annexed into the City in 2010 and consists of lots that are one (1) acre or greater. Staff should note that the majority of the properties in the Zion Hills Subdivision are still zoned Agricultural (AG) District; however, two (2) properties (i.e. 825 & 853 Zion Hills Circle) have been rezoned to Single-Family 1 (SF-1) District. If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for a Single Family 1 (SF-1) District, and which are summarized as follows:

Development Standards	Single Family 1 (SF-1) District
Dwelling Units/Lot	1.0
Dwelling Units/Acre	1.0
Minimum Dwelling Unit	2,500 SF
Minimum Lot Area	8,400 SF
Minimum Lot Width	70-Feet

Minimum Lot Depth	100-Feet
Minimum Front Yard Setback	20-Feet
Minimum Rear Yard Setback	10-Feet
Minimum Side Yard Setback	6-Feet
Between Buildings	10-Feet
Building Height	36-Feet
Maximum Lot Coverage	45%
Required Parking Spaces	2

In addition, the applicant will be required to bring the accessory structure referenced in the *Background* section of this case memo into conformance.

### CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Northeast Residential District* and is designated for *Low Density Residential (LDR)* land uses. The applicant's request, to change the zoning of the subject property from an Agricultural (AG) District to a Single Family 1 (SF-1) District, is in conformance with the *Low Density Residential (LDR)* designation. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ..." [*Section 02.01; CH. 1; Page 1-1*]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Currently, the land use balance is at 75.90% residential to 24.10% non-residential. Since this request is in conformance with the *Land Use Plan*, the land use ratio will remain unchanged if approved.

### **NOTIFICATIONS**

On February 28, 2020, staff notified 33 property owners and occupants within 500-feet of the subject property. Additionally, there are no Homeowners Association's (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. At the time this report was written, staff had not received any notices regarding the applicant's request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from Agricultural (AG) District to Single-Family One (SF-1) District, then staff would propose the following conditions of approval:

- (1) The applicant will be required to request a Specific Use Permit (SUP) for or remove the illegal structure from the property to bring it into compliance with the construction standards required by the City's codes.; and
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



Notary Public in and for the State of Texas

### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF	JSE ONL	Y
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PLANNING & ZONING CASE NO. 72020-001

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

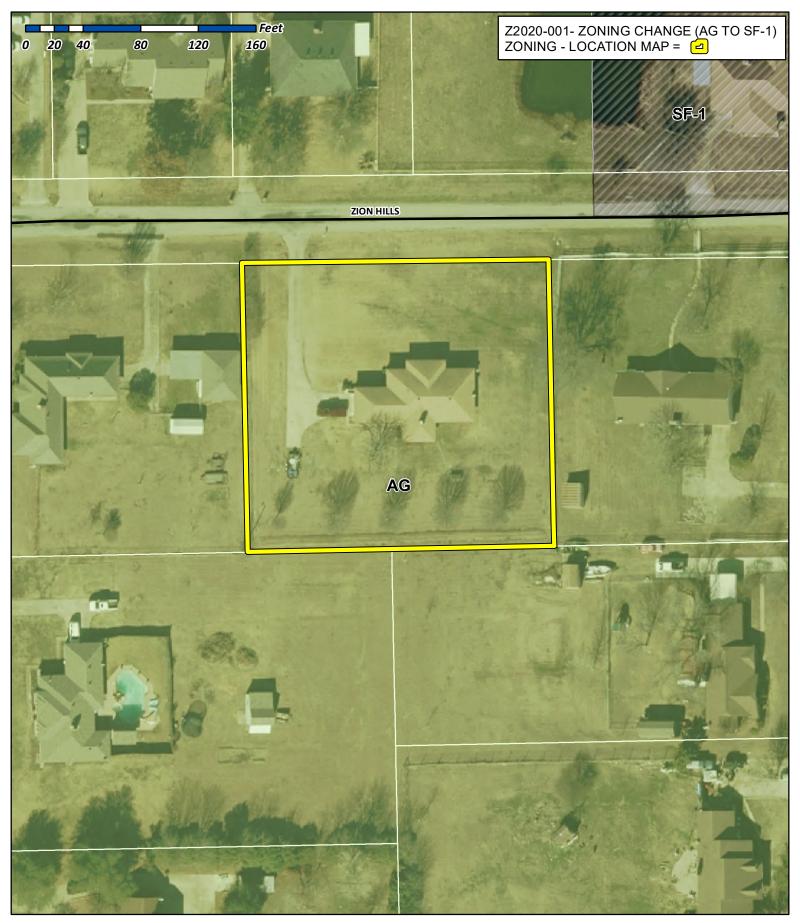
My Commission Expires // - 10 - 21

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request	SELECT ONLY ONE BOX	1:
--	---------------------	----

		_					
[ ] Preliminary Pla [ ] Final Plat (\$300.0 [ ] Replat (\$300.0 [ ] Amending or N [ ] Plat Reinstater Site Plan Application [ ] Site Plan (\$250.0	100.00 + \$15.00 Acre) <sup>1</sup> at (\$200.00 + \$15.00 Acre) <sup>1</sup> 0.00 + \$20.00 Acre) <sup>1</sup> 0 + \$20.00 Acre) <sup>1</sup> Minor Plat (\$150.00) ment Request (\$100.00)		Zoning Application Fees:  [V] Zoning Change (\$200.00 + \$15.00 Acre) 1  [] Specific Use Permit (\$200.00 + \$15.00 Acre) 1  [] PD Development Plans (\$200.00 + \$15.00 Acre) 1  Other Application Fees:  [] Tree Removal (\$75.00)  [] Variance Request (\$100.00)  Notes:  1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.				
PROPERTY INFO	RMATION [PLEASE PRINT]				1000		
Address	844 Zion Hill Circl	2					
Subdivision	Zion Hill			Lot	8	Block	B
General Location	Near Hwy 66 CR3	54	19				
ZONING, SITE PI	AN AND PLATTING INFORMATION [PLE	ASE P	RINT]				
Current Zoning	Agricultural		Current Use	Residen	tial F	rivate	
Proposed Zoning	SF-1			Residen			
Acreage	Lots [Current	:]		Lot	s [Proposed	1]	
	<b>PLATS:</b> By checking this box you acknowledge that due to address any of staff's comments by the date provided						to its approval
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT	/CHE	CK THE PRIMARY	CONTACT/ORIGINA	AL SIGNATURE	S ARE REQUIRED	)]
	David Choate			Titan C			
	Chris Kehrer	(		Chris			
Address	844 Zion Hill Circle		Address	410 N	crman	dyln	)
City, State & Zip	Rackwall, TX 75087	C	City, State & Zip	Heath	TX 70	5032	
Phone	214-869-3318			214-9			
E-Mail	Alertdrain D Yahoo. com		E-Mail	Chrisa	Titanco	nutracto	rs. Net
마음 등 (100mm) 이 사용을 보고하는데 있다. 100mm (100mm)	CATION [REQUIRED]  ned authority, on this day personally appeared	id	Charte	[Owner] the u	ndersigned, w	ho stated the ir	nformation on
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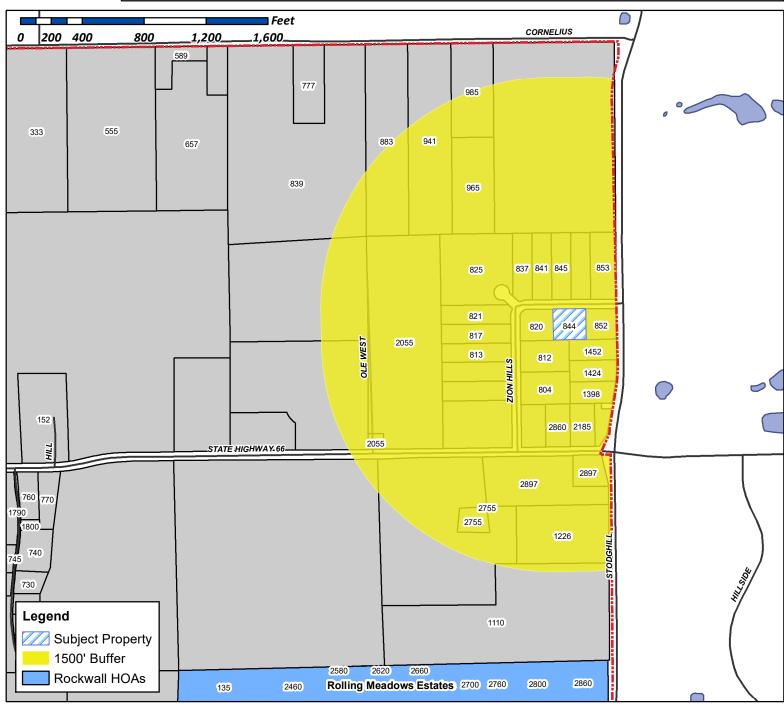
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-001

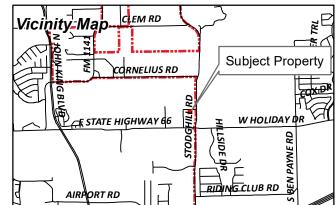
Case Name: Zoning Change AG to SF-1

Case Type: Zoning Zoning: AG

Case Address: 844 Zion Hill Circle

**Date Created:** 2/19/2020

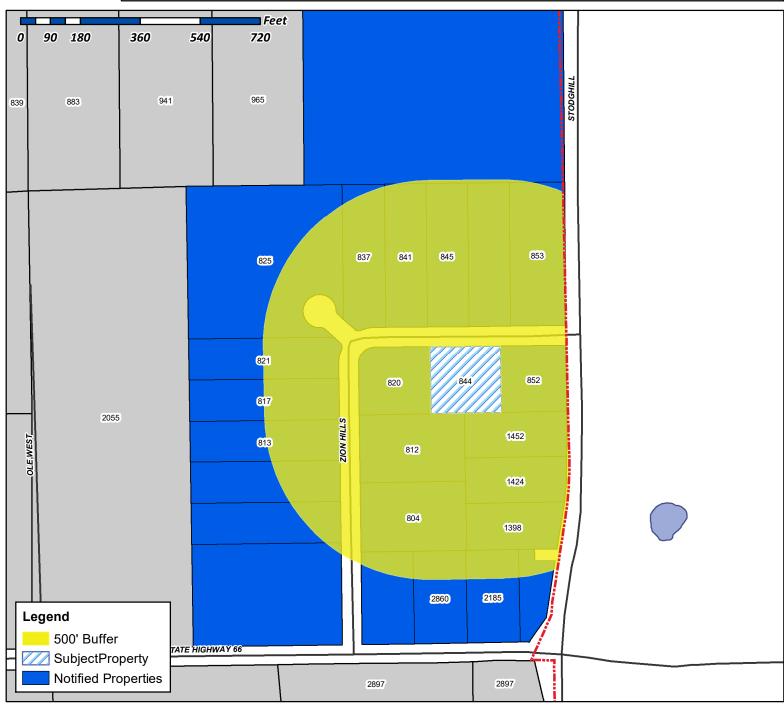
For Questions on this Case Call (972) 771-7745





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-001

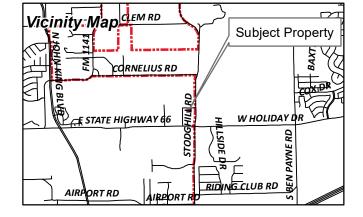
Case Name: Zoning Change AG to SF-1

Case Type: Zoning Zoning: AG

Case Address: 844 Zion Hill Circle

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT CORNELIUS ROCKWALL, TX 75087	CURRENT RESIDENT HWY66 ROCKWALL, TX 75087	CURRENT RESIDENT ZION HILL ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
ZION HILLS	1398 FM3549 STODGHILL	1424 FM3549 STODGHILL
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
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CURRENT RESIDENT	CURRENT RESIDENT	TA LAND HOLDINGS LLC
2185 WILLIAMS	2860 HWY66	2897 STATE HIGHWAY 66
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CITY OF ROCKWALL 385 S GOLIAD ST ROCKWALL, TX 75087	KEMP MARY CAYCE ERSKINE WILLIAMS 4501 EDMONDSON AVE DALLAS, TX 75205	LAKE RAY HUBBARD BIBLE CHURCH INC 801 ZION HILL CIR ROCKWALL, TX 75087
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MILLER CHARLES E & BETTY M	CURRENT RESIDENT	MURPHY ROCKY SR & DEBRA J
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ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
HOLCOMB FRED G & CAROL	CHOATE DAVID E ET UX	AKARD DANNY AND CATHY
841 ZION HILL CIR	844 ZION HILL CIR	845 ZION HILL CIR
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BROWN DAVID C & LINDA K	CURRENT RESIDENT	WOODY JESSYE JEAN
852 ZION HILL CIR	853 ZION HILL	PO BOX 315
ROCKWALL, TX 75087	ROCKWALL, TX 75087	FATE, TX 75132

WOODY JESSYE JEAN PO BOX 315 FATE, TX 75132

### LAKE RAY HUBBARD CHURCH PO BOX 698 ROCKWALL, TX 75087

HARLE REUBIN E PO BOX 912 ROCKWALL, TX 75087 To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Case No. Z2020-001: 844 ZION HILL CIRCLE

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**Director of Planning & Zoning





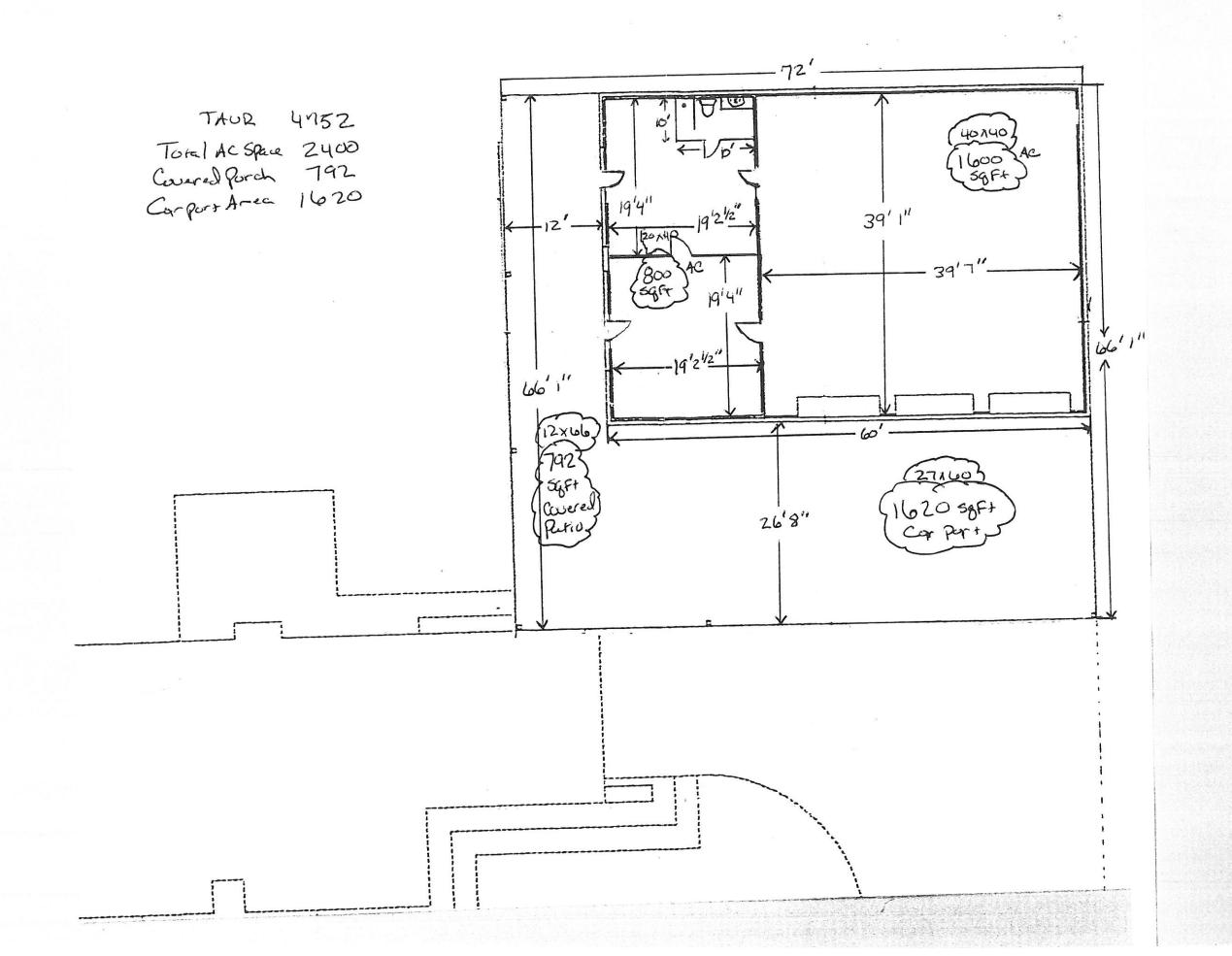
#### MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

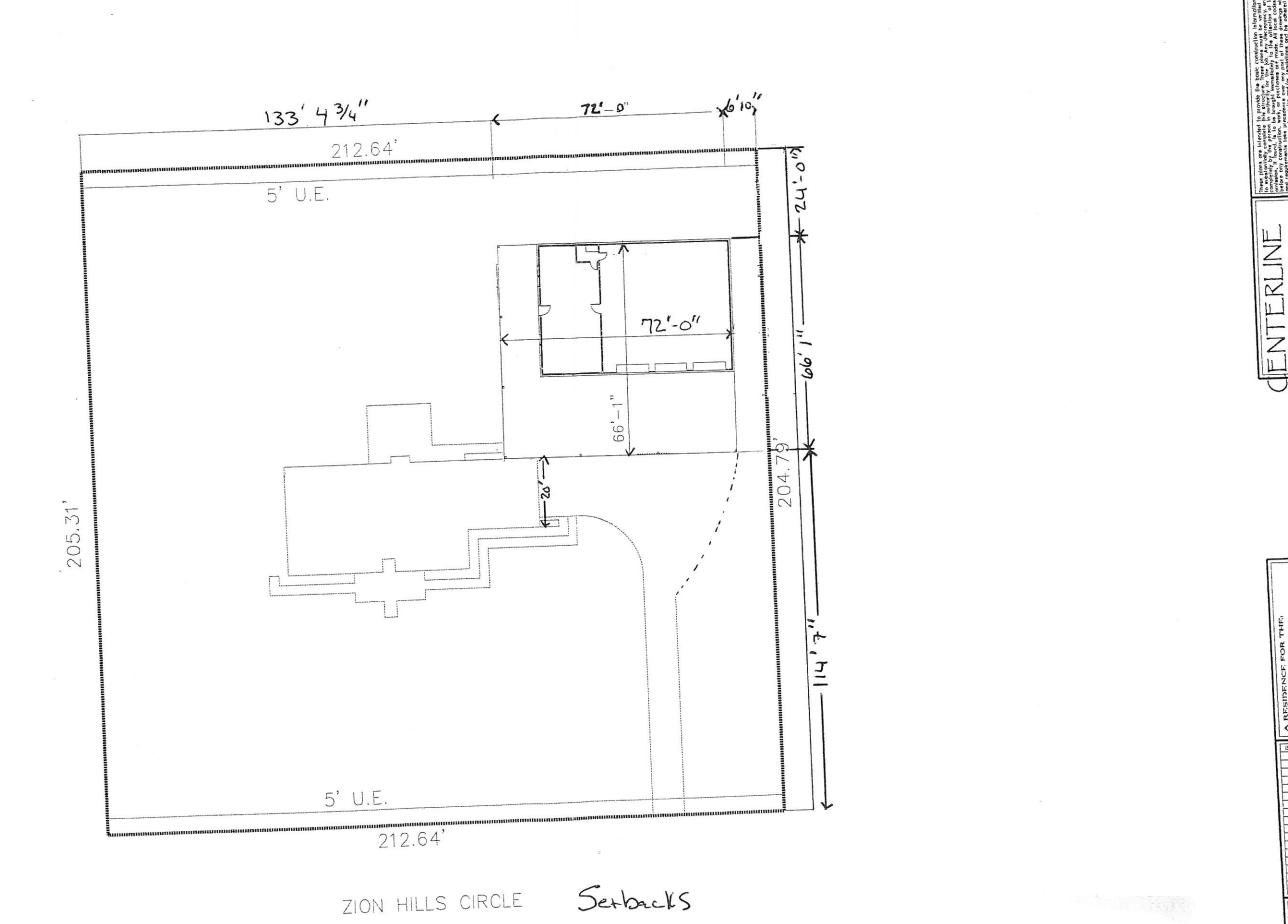
HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -	
Case No. Z2020-001: 844 ZION HILL CIRCLE	
Please place a check mark on the appropriate line below:	
☐ I am in favor of the request for the reasons listed below.	
☐ I am opposed to the request for the reasons listed below.	
Name:	
Address:	

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





ISSUED DATE
7-29-13
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REVISIONS

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### **FRONT ELEVATION**



**REAR ELEVATION** 



### **RIGHT ELEVATION**



**LEFT ELEVATION** 



### **SURROUNDING NEIGHBORS**





### **SURROUNDING NEIGHBORS**





The purpose of the zoning application is to accommodate the attached garage with the desired layout that will allow for a large covered area. Mr. Choate is an avid fisherman and outdoorsman in his free time and will retire in the next 5 years. This area is where he will spend most of his free time. Mr. Choate has one boat, one car, two trucks and one small trailer. They will all be stored in the garage area along with his lawn equipment, tool boxes and miscellaneous personal power tools. This is for private use and he will store personal belongings inside as well. Many homes in the area have multiple storage buildings scattered around. Our goal was to create a nice area where everything is contained inside one building and add value to the existing property.

### CITY OF ROCKWALL

### ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL. TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY 1 (SF-1) DISTRICT FOR A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK B, ZION HILL ADDITION, CITY OF ROCKWALL, **ROCKWALL COUNTY, TEXAS, ADDRESSED AS 844 ZION HILL** CIRCLE AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO **EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00)** FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY PROVIDING FOR A REPEALER PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Chris Kehrer of Titan Contractors on behalf of the owner David Choate for a change in zoning from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle and more fully depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

# NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Single-Family 1 (SF-1) District.

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family 1 (SF-1) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future.

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE  $6^{\text{TH}}$  DAY OF APRIL, 2020.

ATTEST:	Jim Pruitt, <i>Mayor</i>
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1st Reading: March 16, 2020	

Ordinance No. 20-XX;

2<sup>nd</sup> Reading: April 6, 2020

Exhibit 'A' Zoning Exhibit

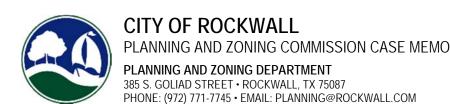
<u>Address:</u> 844 Zion Hill Circle <u>Legal Description:</u> Lot 8, Block B, Zion Hill Addition



# Exhibit 'B' Survey

### SURVEY PLAT

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TO: Planning and Zoning Commission

DATE: March 10, 2020
APPLICANT: Reese Baez

CASE NUMBER: Z2020-002; Specific Use Permit (SUP) for a Residential Infill for 702 Parks Avenue

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

### **BACKGROUND**

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots. Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [are] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [1983] from which this [the] Unified Development Code is derived which has not been divided [or assembled] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

### **PURPOSE**

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 8 (*i.e. 702 Parks Avenue*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-003*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e. 610 Parks Avenue*).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

<u>North</u>: Directly north of the subject property is 704 Parks Avenue (*i.e.* Lot 9, Block D, Foree Addition). North of this are three (3) single-family homes followed by Heath Street, which is designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e.* Pecan Grove, Stark, & Wade). All of these areas are zoned Single-Family 7 (SF-7) District.

<u>South</u>: Directly south of the subject property is 610 Parks Avenue (*i.e.* Lot 7, Block D, Foree Addition). South of this are three (3) residential homes followed by Lillian Street, which is designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a Minor Collector on the Master Thoroughfare Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (e.g. F&M, Kathleen's and Crawford, Autumn). All of these areas are zoned Single-Family 7 (SF-7) District.

<u>East</u>: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (i.e. Rockwall Assembly of God). All of these properties are zoned Single-Family 7 (SF-7) District.

<u>West</u>: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

### CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	Two (2) Stories (i.e. ~27-feet at the Midpoint of Roof)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto	The front elevations of the home will face on to Parks Street.
	Lillian Street.	
Year Built	1929-1995	N/A
<b>Building SF on Property</b>	1,264 SF – 3,912 SF	3,450 SF
Building Architecture	Various [ <i>Minimal Traditional, Tudor, Ranch, etc.</i> ]	Comparable Architecture
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard and Stone
Paint and Color	Pink, Yellow, White, and Tan	White (with Black Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle
Driveways	A mixture of front entry garages/driveways. Some	Rear Entry Garage Accessible from N. Clark Street
	houses do not have a garage and one (1) house has	
	a carport.	

Staff should note that the proposed single-family meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the

properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

### **NOTIFICATIONS**

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) emails in opposition of the applicant's request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



**Platting Application Fees:** 

[ ] Master Plat (\$100.00 + \$15.00 Acre) 1

[ ] Preliminary Plat (\$200.00 + \$15.00 Acre) 1

### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

[ ] Zoning Change (\$200.00 + \$15.00 Acre) 1

Specific Use Permit (\$200.00 + \$15.00 Acre) 1

CITY ENGINEER:

**Zoning Application Fees:** 

Please check the appropriate	box below to indicate the t	vpe of development request	[SELECT ONLY ONE BOX]:
rieuse theth the appropriate	JOX DEIDVI to maleute the	The of actioning is a decided	[

[ ] Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup> [ ] Replat (\$300.00 + \$20.00 Acre) <sup>1</sup> [ ] Amending or Minor Plat (\$150.00) [ ] Plat Reinstatement Request (\$100.00)  Site Plan Application Fees: [ ] Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup> [ ] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)	Other Application Fees:  [ ] Tree Removal (\$75.00)  [ ] Variance Request (\$100.00)  Notes:  1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.
PROPERTY INFORMATION [PLEASE PRINT]  Address 702 PAWS AVE POR  Subdivision Forces Addition VI  General Location Parks Ave	WWW, TX 75087 1.12 Pg 568 Lot 8 Block D
ONING, SITE PLAN AND PLATTING INFORMATI	ION [PLEASE PRINT]
Current Zoning fly dentral SF	-7 Current Use RIS, dentral
Proposed Zoning NIA	Proposed Use Residential
Acreage 0. Lots	[Current] Lots [Proposed] 0.16
SITE PLANS AND PLATS: By checking this box you acknowledge process, and failure to address any of staff's comments by the da	that due to the passage of <u>HB3167</u> the City no longer has flexibility with regard to its approval the provided on the Development Calendar will result in the denial of your case.
OWNER/APPLICANT/AGENT INFORMATION [PLE	EASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[ ]Owner	Applicant Rese Bacz
Contact Person	Contact Person 1075. Boliad St #108
Address	Address 🕹
City, State & Zip	City, State & Zip foction Tf 75087  Phone  E-Mail Thaczetritage. Com
E-Mail	E-Mail That 2 Otritonac . Com
	C-Iviali VAC GE
NOTARY VERIFICATION [REQUIRED]  Before me, the undersigned authority, on this day personally appeared this application to be true and certified the following:	[Owner] the undersigned, who stated the information on
cover the cost of this application, has been paid to the City of Rockwall that the City of Rockwall (i.e. "City") is authorized and permitted to p permitted to reproduce any copyrighted information submitted in conju- information."	; all information submitted herein is true and correct; and the application fee of $\$215.00$ , to on this the
Given under my hand and seal of office on this the day of _	Notary Public, State of Texas
Owner's Signature	Comm. Expires 05-10-2020
Notary Public in and for the State of Texas	My Commission Expires
DEVELOPMENT APPLICATION	WTH GOLIAD STREET + ROCKWALL, TX 75087 + [P] (972) 771-7745 + [7] (972) 771-7727





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

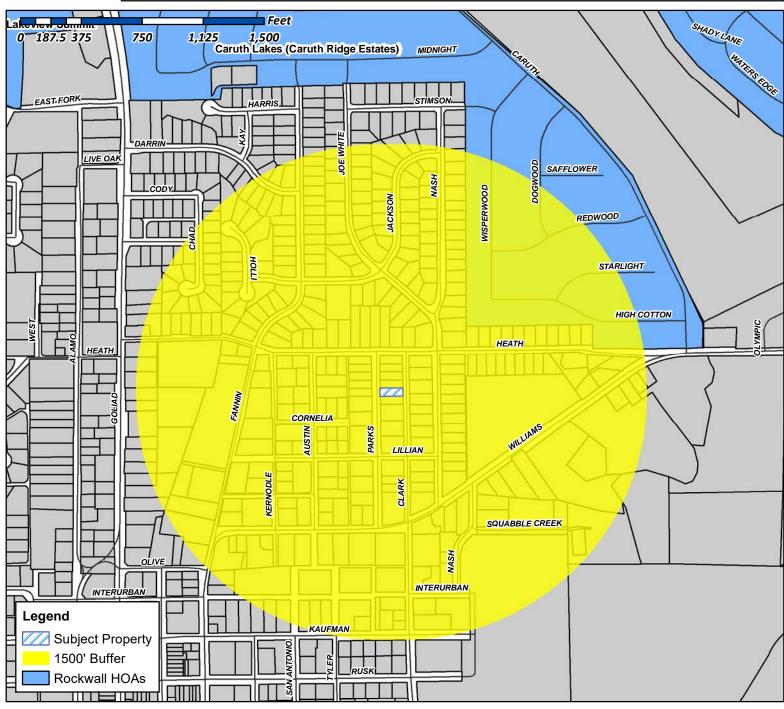
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-002

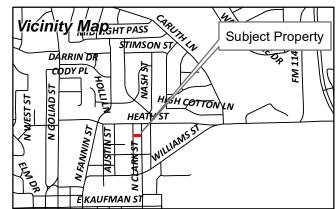
Case Name: SUP for 702 Parks Ave Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745



### Gamez, Angelica

From:

Gamez, Angelica

Sent: Subject: Friday, February 28, 2020 10:30 AM Neighborhood Notification program

Attachments:

PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf;

PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

### To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner *February 28, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 10, 2020 at 6:00 p.m.*, and the City Council will hold a public hearing on *Monday, March 16, 2020 at 6:00 p.m.*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at https://sites.google.com/site/rockwallplanning/development-cases.

### Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

### Z2020-002 SUP for Residential Infill for 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

### Z2020-003 SUP for Residential Infill for 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

### Z2020-004 SUP for Residential Infill for 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

### Z2020-005 SUP for Residential Infill for 703 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

### Z2020-006 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

### Z2020-007 Text Amendment to Article VIII, Landscape and Screening

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

### Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <a href="http://www.rockwall.com/planning/hoa.asp">http://www.rockwall.com/planning/hoa.asp</a>.

Thank you,

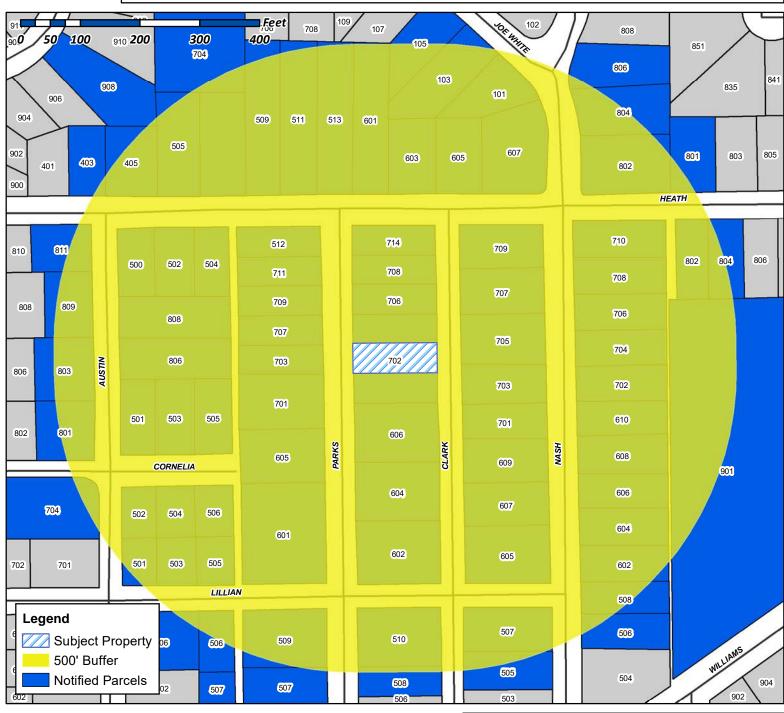
### Angelica Gamez

Planning & Zoning Coordinator City of Rockwall 972.771.7745 Office 972.772.6438 Direct http://www.rockwall.com/planning/



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-002

Case Name: SUP for 702 Parks Ave. Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created: 2/19/2020** 

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT	ROLAND RANDY C AND ANDREA B	CURRENT RESIDENT
EHEATH	101 JOE WHITE ST	103 JOE WHITE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SILVA MANUEL	CURRENT RESIDENT	BREWER SHERI RENEE
1041 E FM 552	105 JOE WHITE	119 SUNRISE VISTA WAY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	PONTE VEDRA, FL 32081
SABRSULA MELISSA	KENNEDY HAYLEY	RIPSTOP PROPERTIES LLC
1571 ANNA CADR RD	201 CHAMPION DR	205 S CLARK STREET
ROCKWALL, TX 75087	WYLIE, TX 75095	ROCKWALL, TX 75087
RIJU LTD PARTNERSHIP A TEXAS LTD PARTNERSHIP 210 GLENN AVE ROCKWALL, TX 75087	HARRIS RICHARD D & JUDY A 210 GLENN AVE ROCKWALL, TX 75087	REDDEN POLLY PEOPLES 213 SOVEREIGN CT ROCKWALL, TX 75032
GRIFFIN PATTY JEAN CORNELIUS	PARK ALLEN	KAUFMANN EVAN J
2140 AIRPORT RD	2301 LAFAYETTE DR	2312 BAHAMA RD
ROCKWALL, TX 75087	HEATH, TX 75032	AUSTIN, TX 78733
GLASS JERRY R 301 MEADOWDALE DR ROCKWALL, TX 75087	ZYLKA JOE AND BONNIE 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032	VANHORN PENNI AND JOE ZYLKA AND BONNIE ZYLKA 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032
CURRENT RESIDENT	CURRENT RESIDENT	HODGES PATRICK L
403EHEATH	405EHEATH	481 ARCADIA WAY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KIRKPATRICK DAVID S & RHONDA D	HOLZHEIMER THOMAS R AND NICOLE M	GREENAWALT PATRICK ALAN
500 E HEATH ST	501 CORNELIA ST	501 LILLIAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BARNETT GEORGE S	MCINTIRE J M & ERLINDA	CURRENT RESIDENT
502 CORNELIA ST	502 E HEATH ST	503 CORNELIA
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	TANTON MELVIN V JR
503 LILLIAN	504 CORNELIA	504 E HEATH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JE	₹
505 CARRIAGE TRAIL	
ROCKWALL, TX 75087	

### SCHMIDT JERRY LEE AND BARBARA JEAN 505 CORNELIA ROCKWALL, TX 75087

BARRON GILDARDO 505 LILLIAN ST ROCKWALL, TX 75087

DAVIS JUDY
505 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT 505EHEATH ROCKWALL, TX 75087 CURRENT RESIDENT 506 CORNELIA ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE 506 LILLIAN ST ROCKWALL, TX 75087 BLESSING RUSSELL BENNETT 506 NASH ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE 507 NASH ST ROCKWALL, TX 75087

TOLMAN BROOKS 507 PARKS AVE ROCKWALL, TX 75087

CAWTHON RICK 508 NASH ST ROCKWALL, TX 75087 FREEMAN WILLIAM B JR 508 PARKS AVE ROCKWALL, TX 75087

DOROTIK DAVID W 509 PARKS AVE ROCKWALL, TX 75087 CURRENT RESIDENT 509EHEATH ROCKWALL, TX 75087 RICHARDSON PATRICE 510 COVE RIDGE RD HEATH, TX 75032

CURRENT RESIDENT 510 PARKS ROCKWALL, TX 75087 CURRENT RESIDENT 511EHEATH ROCKWALL, TX 75087 COATS LOIS LOUISE 512 E HEATH ST ROCKWALL, TX 75087

DENNIS KIMBERLY 513 E HEATH ST ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH 601 PARKS AVE ROCKWALL, TX 75087 STEGALL VENTURES LLC 601 SUNSET HILL DRIVE ROCKWALL, TX 75087

CURRENT RESIDENT 601EHEATH ROCKWALL, TX 75087 SIMMONS APRIL R 602 NASH STREET ROCKWALL, TX 75087 LEAL ROLAND & CAROL 602 PARKS AVENUE ROCKWALL, TX 75087

SUTTON JUDITH A 603 E HEATH ST ROCKWALL, TX 75087 HOWARD DEBORAH K 604 NASH ST ROCKWALL, TX 75087 FUQUA MATTHEW 604 PARKS AVE ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA 605 NASH ST ROCKWALL, TX 75087 DINGWELL MARGUERITE NASH & ADAM 605 PARKS AVE ROCKWALL, TX 75087 DAVIS SUSAN ELAINE BYRD 605 STORRS ROCKWALL, TX 75087

CURRENT RESIDENT	DANIEL RODNEY	GALASSI TORI D
605EHEATH	606 AUSTIN ST	606 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WALLS JEFFREY V & NATALIE ANN 606 PARKS AVE ROCKWALL, TX 75087	SPERLING SANDY 607 E HEATH ST ROCKWALL, TX 75087	BHATIA SACHIT S AND LAURA NICOLE JONES 607 NASH STREET ROCKWALL, TX 75087
STARK ROBERT S & TINA J	OGDEN BRANDON & LIDIA	TORRES ROSIE
607 SAINT MARY ST	608 NASH ST	609 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	BLAZEK ALVIN F & DOROTHY H	CASTRO RENE & BETSY
610 NASH	6634 DAVIS DR	700 WINDSONG LN
ROCKWALL, TX 75087	ROYSE CITY, TX 75189	ROCKWALL, TX 75032
CURRENT RESIDENT	CASTILLO AGAPITO & ESTELA	TEMPLETON LORRAINE BIEGLER
701 NASH	701 PARKS AVE	702 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	ELLISTON REBECCA S	HANSON BRANDON R
702 PARKS	703 NASH STREET	703 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
FRASIER MICHAEL & MARY GRACE	THOMAS TRACY	CURRENT RESIDENT
704 JACKSON ST	704 KERNODLE ST	704 NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
RUSHING BRIAN AND CHANEL KENTOPP 705 NASH ST ROCKWALL, TX 75087	ARELLANO JESUS L & CYNTHIA A HERRERA 706 NASH ST ROCKWALL, TX 75087	PECINA JOE & LORETHIA ANN 706 PARKS AVE ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
707 NASH	707 PARKS	708 NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KOLWINSKA GERALDINE D 708 PARKS AVE	CURRENT RESIDENT 709 NASH	BARRON ARMANDO 709 PARKS AVE

ROCKWALL, TX 75087

ROCKWALL, TX 75087

ROCKWALL, TX 75087

STARK ROBERT C	KING MISTY	NIXON ALBERT
710 AGAPE ST	710 NASH STREET	711 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
PALMER LINDA C	CURRENT RESIDENT	CURRENT RESIDENT
714 PARKS AVE	801 AUSTIN	801EHEATH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
COLUNGA MAXIMO & MARGARITA	CURRENT RESIDENT	CURRENT RESIDENT
802 E HEATH ST	802 NASH	803 AUSTIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BROWN REBECCA AND THOMAS	CURRENT RESIDENT	AUSTIN TRENTON C
804 E HEATH ST	804 NASH	806 AUSTIN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
806 NASH	808 AUSTIN	809 AUSTIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
JENNINGS AMANDA L	MCCLAIN LOUETTA	WARDELL JOHN P & JULIE C
811 AUSTIN ST	8309 TURNBERRY ST	880 IVY LN
ROCKWALL, TX 75087	ROWLETT, TX 75089	ROCKWALL, TX 75087
CURRENT RESIDENT	BIRT PAUL G & CHRISTI ANA	BELANGER CORKY
901 WILLIAMS	908 NORTH FANNIN STREET	921 N ALAMO RD
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WIMPEE JANIE K LIFE ESTATE RICHARD D WIMPEE AND JUDY A HARRIS AND JOE E WIMPEE AND JERRY M WIMPEE 704 E MAPLE ST FAYETTEVILLE, AR 72701	KINDRED ROBERT M P.O. BOX 261638 PLANO, TX 75026	ROCKWALL ASSEMBLY OF GOD C/O DAVID SPIEGEL PO BOX 33 ROCKWALL, TX 75087

AWAJA PROPERTIES LLC PO BOX 811 ROYSE CITY, TX 75189 To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Case No. Z2020-002: 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.,** and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**Director of Planning & Zoning





### MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -
Case No. Z2020-002: 702 Parks Avenue
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Henry House Plans 702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

# **COPYRIGHT** © 2018 by LATIMER DESIGNS, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF

# LIABILITY

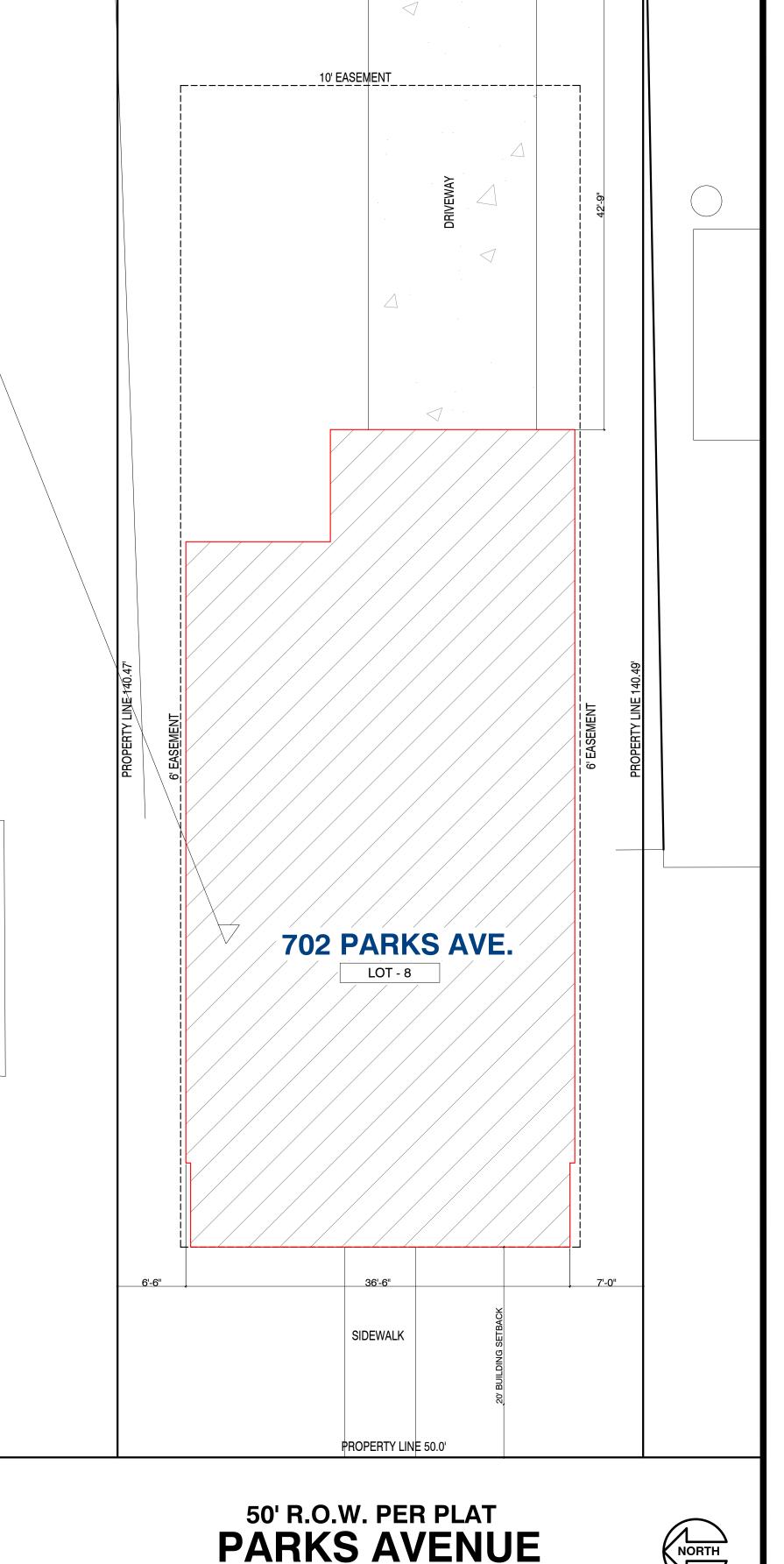
LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR

- 1.1. DESIGN, SIZE, AND REINFORCEMENT LOADS.
- 1.2. ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- 2. CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVISEMENT PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

# **CLARK STREET** 40' R.O.W. PER PLAT



SITE PLAN SCALE: 1/8" = 1' - 0"

# **GENERAL NOTES**

- 1. THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO
- COMPLETE THE CONSTRUCTION OF THIS PROJECT. 2. ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR
- BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER. 3. ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE - LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR
- 4. ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL
- 5. FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING
- CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING
- 7. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- 8. ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2"
- 9. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- 10. FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- 11. ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 12. ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF
- THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT. 13. ALL LUMBER SHALL BE S4S UNO
- 14. FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS. 15. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS
- WHERE REQUIRED BY CODE. 16. ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER.
- 17. ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER: REFRIGERATOR. RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER & DRYER.
- 18. PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM. INCLUDING ALL HOT AND COLD WATER DISTRIBUTION
- AND ALL NECESSARY WASTE SYSTEMS. 19. PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER.
- 20. THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE
- 21. CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

# **ABBREVIATIONS**

	ADDITEVIATION	•	
AB ANCHOR BOLT ADJ ADJUSTABLE AFF ABOVE FINISH FLO BLDG BUILDING BLK BLOCK BM BEAM CAB CABINET CLG CEILING CLR CLEAR CONC CONCRETE DBL DOUBLE DIA DIAMETER DN DOWN DWG DRAWING EA EACH EQ EQUAL	FD FLOOR DRAIN FDN FOUNDATION FF FINISH FLOOR FLR FLOOR FT FEET FTG FOOTING GL GLASS H HIGH LC LAUNDRY CHUTE LG LONG ML MICROLAM MTL METAL OC ON CENTER PT PRESSURE TREATED PTB PARTICLE BOARD	R R&S SH SHWR SIM SQ STL TBD TOJ TOS TR TYP UNO V WD	RADIUS ROD & SHELF SHELF(S) SHOWER SIMILAR SQUARE STEEL TO BE DETERMINE TOP OF JOIST TOP OF SLAB TRANSOM TYPICAL UNLESS NOTED OTHERWISE VERTICAL WOOD

## DRAWING INDEX

A - 1.07 ELECTRICAL PLAN

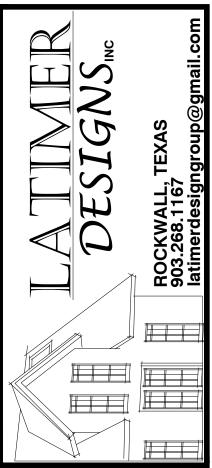
DR	RAWING INDEX	SQUARE FOO	TAGE
- 1.01	COVER SHEET	LIVING SPACE	2660
- 1.02	FRONT & LEFT ELEVATION	GARAGE	500
- 1.03	BACK & RIGHT ELEVATION	FRONT PORCH	290
- 1.04	FLOOR PLAN	BACK PORCH	186
- 1.05	FOUNDATION/PLUMBING PLAN		·
- 1.06	ROOF PLAN		

# **BUILDING DEVELOPEMENT**

OWNER	AMANDA HENRY
	972.896.1539
	mhenrytx@me.com
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING
	REESE BAEZ
	214.738.8752
	RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC.
	LEE ANN LATIMER
	903.268.1167
	LATIMERDESIGNGROUP@GMAIL.COM

# PROPERTY DESCRIPTION

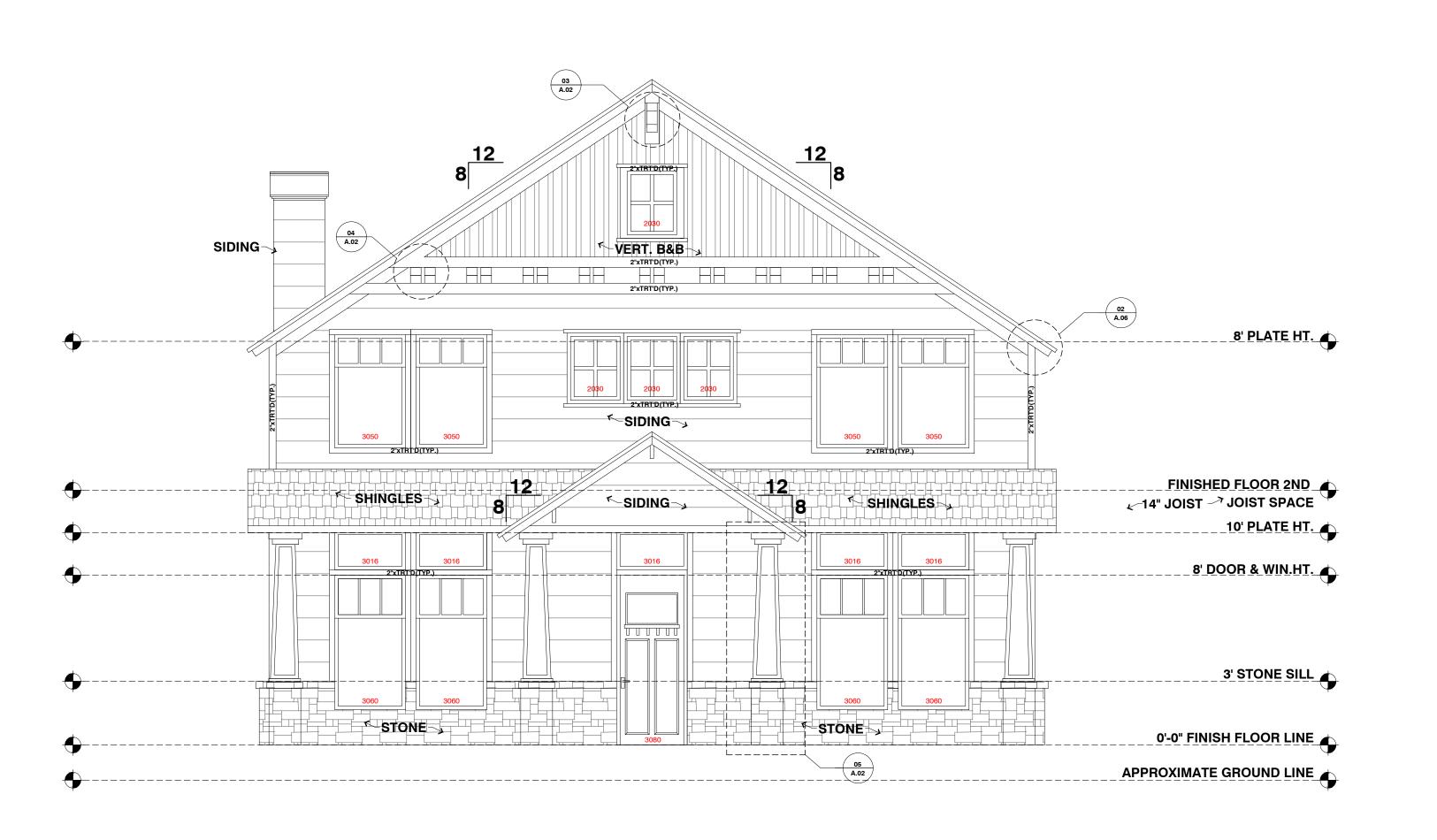
ASE#	Z2020-002
OCATION	702 PARKS AVE. ROCKWALL, TX 75087
	BLK D - LT 8
IEIGHBORHOOD	N3600-3-19
ROPERTY ID	16619
EGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9
ONING	SF3
EOGRAPHIC ID	3710-000D-0008-00-0R

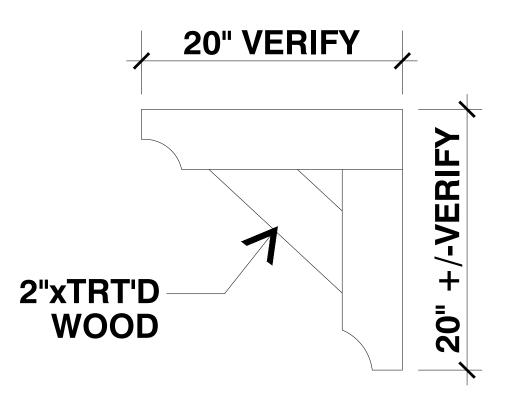


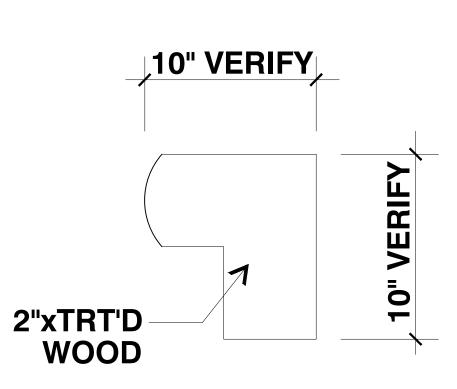
DRAWN BY: **CHECKED BY:** DATE: **ISSUED FOR PERMIT:** CONSTRUCTION: **REVISIONS:** 11.17.2019: KITCHEN - FLIP SINK & RANGE. ADDED WINDOW 12.04.2019: LAUNDRY ROOM LAYOUT PLUMBING ELECT.: DIM. SWITCHES & ADDED RCL'S

CASE #: Z2020-002

SHEET TITLE: **COVER SHEET** 







NOTE: VERIFY PROFILE DETAIL WITH OWNER.

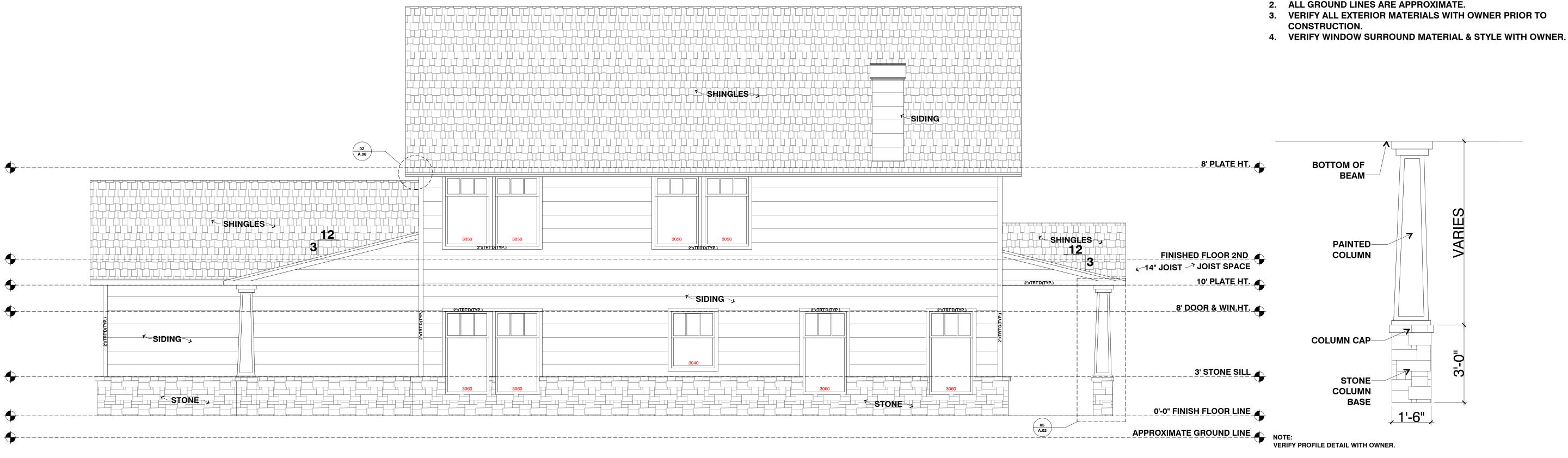
03 BRACKET 1 DETAIL
NOT TO SCALE

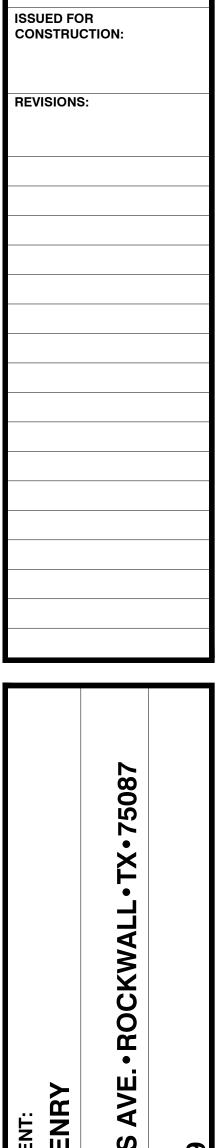
NOTE: VERIFY PROFILE DETAIL WITH OWNER.

04 BRACKET 2 DETAIL
NOT TO SCALE

# **NOTES**

- 1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- 2. ALL GROUND LINES ARE APPROXIMATE.
- 3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO





CASE #:

Z2020-002

SHEET TITLE:

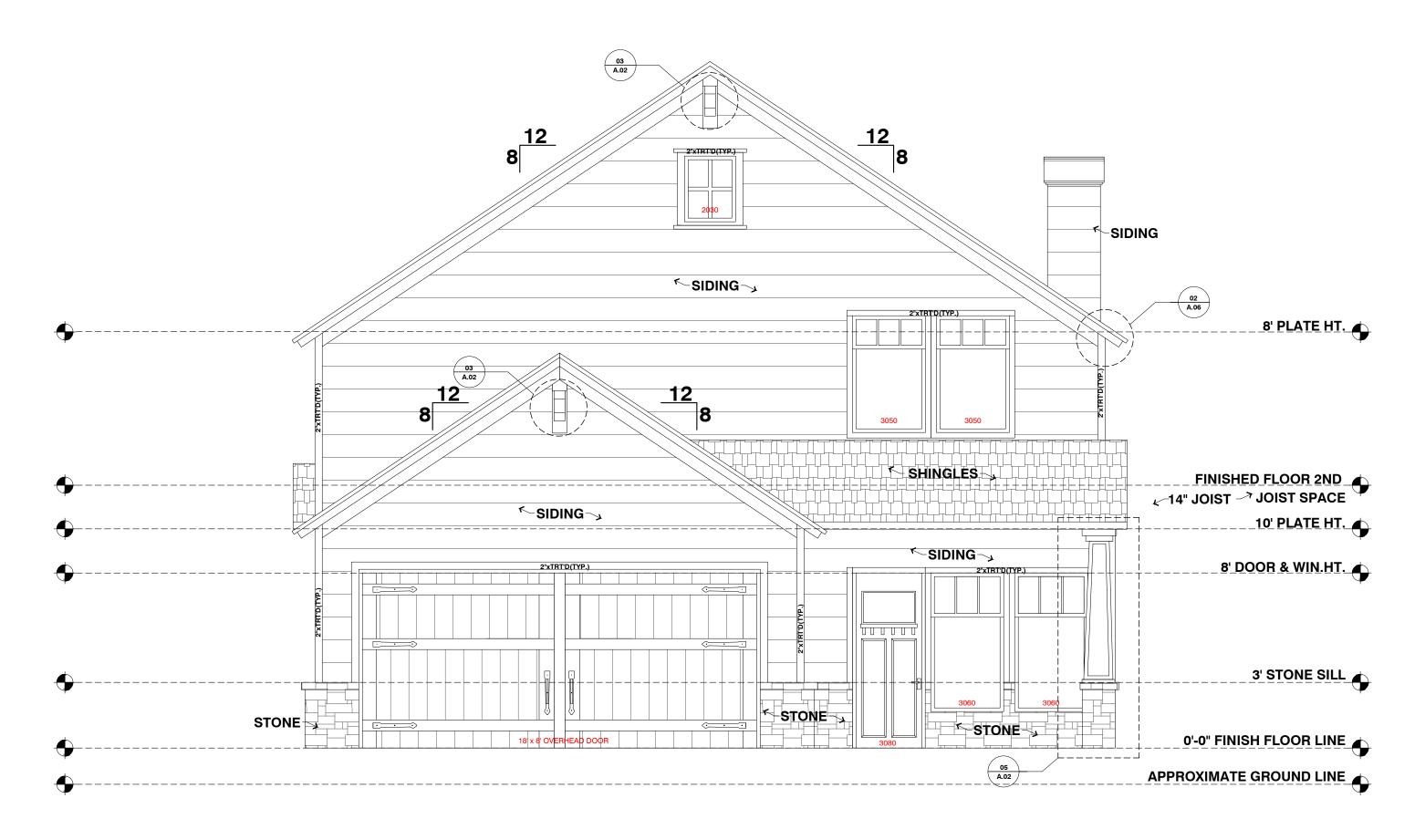
**ELEVATIONS** 

DRAWN BY:

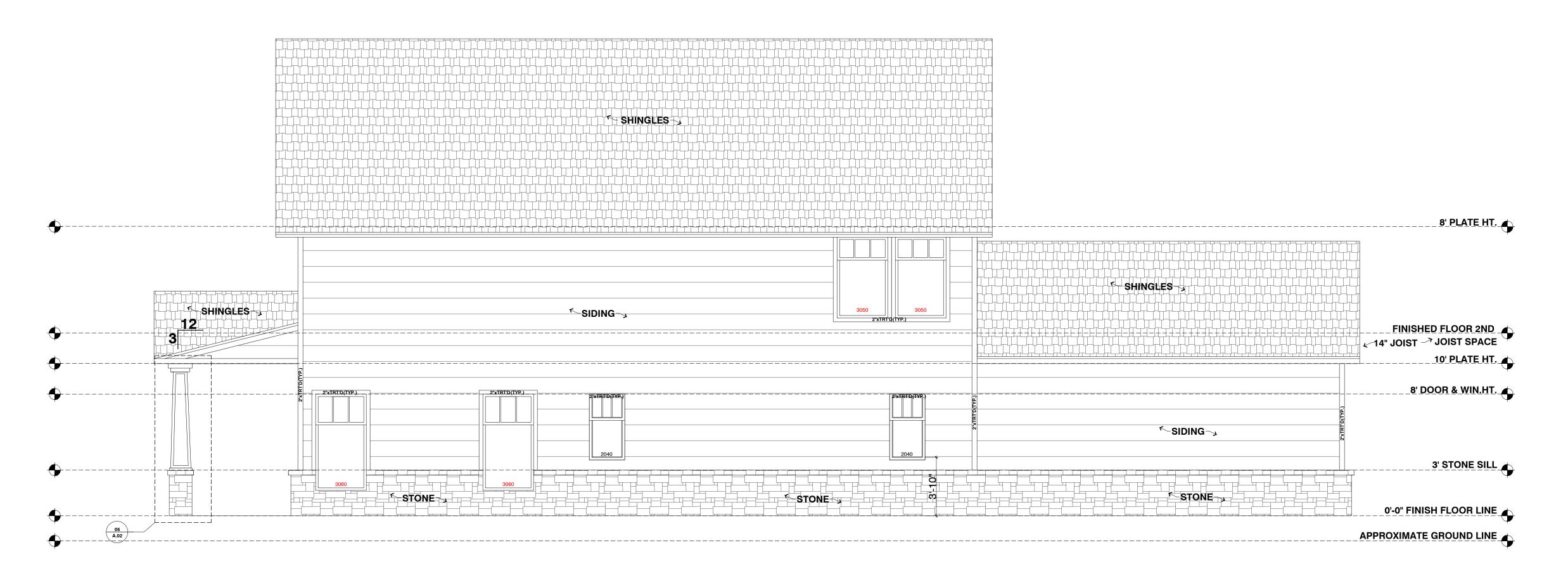
DATE:

CHECKED BY:

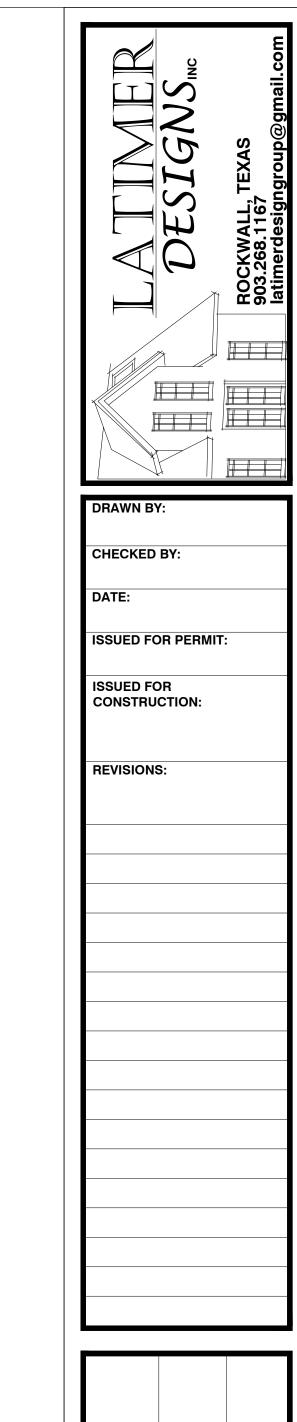
ISSUED FOR PERMIT:



# BACK ELEVATION SCALE: 1/4" = 1' - 0"







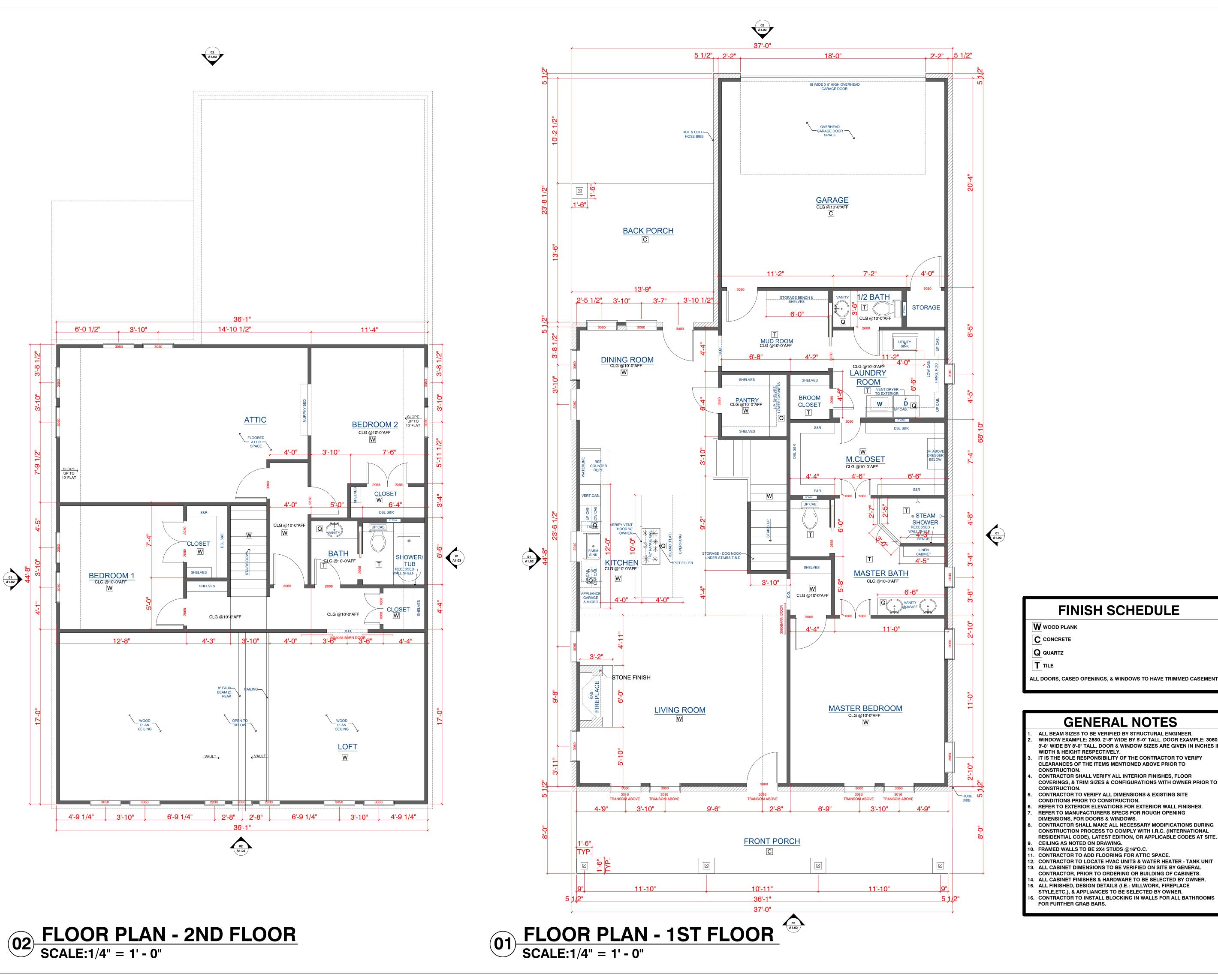
PROJECT/CLIENT:
MANDY HENRY
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:

SHEET TITLE:
ELEVATIONS

CASE #:

Z2020-002

SHEET NO.:



DRAWN BY: CHECKED BY: DATE: **ISSUED FOR PERMIT:** ISSUED FOR CONSTRUCTION: **REVISIONS:** 

**GENERAL NOTES** 

FINISH SCHEDULE

WINDOW EXAMPLE: 2850. 2'-8" WIDE BY 5'-0" TALL. DOOR EXAMPLE: 3080. 3'-0" WIDE BY 8'-0" TALL. DOOR & WINDOW SIZES ARE GIVEN IN INCHES II WIDTH & HEIGHT RESPECTIVELY.

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR **COVERINGS, & TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO** 

CONSTRUCTION. CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISHES REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING

DIMENSIONS, FOR DOORS & WINDOWS. CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.

CEILING AS NOTED ON DRAWING. 10. FRAMED WALLS TO BE 2X4 STUDS @16"O.C.

 CONTRACTOR TO ADD FLOORING FOR ATTIC SPACE. 12. CONTRACTOR TO LOCATE HVAC UNITS & WATER HEATER - TANK UNIT 13. ALL CABINET DIMENSIONS TO BE VERIFIED ON SITE BY GENERAL

14. ALL CABINET FINISHES & HARDWARE TO BE SELECTED BY OWNER. 15. ALL FINISHED, DESIGN DETAILS (I.E.: MILLWORK, FIREPLACE STYLE,ETC.), & APPLIANCES TO BE SELECTED BY OWNER. 16. CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR ALL BATHROOMS

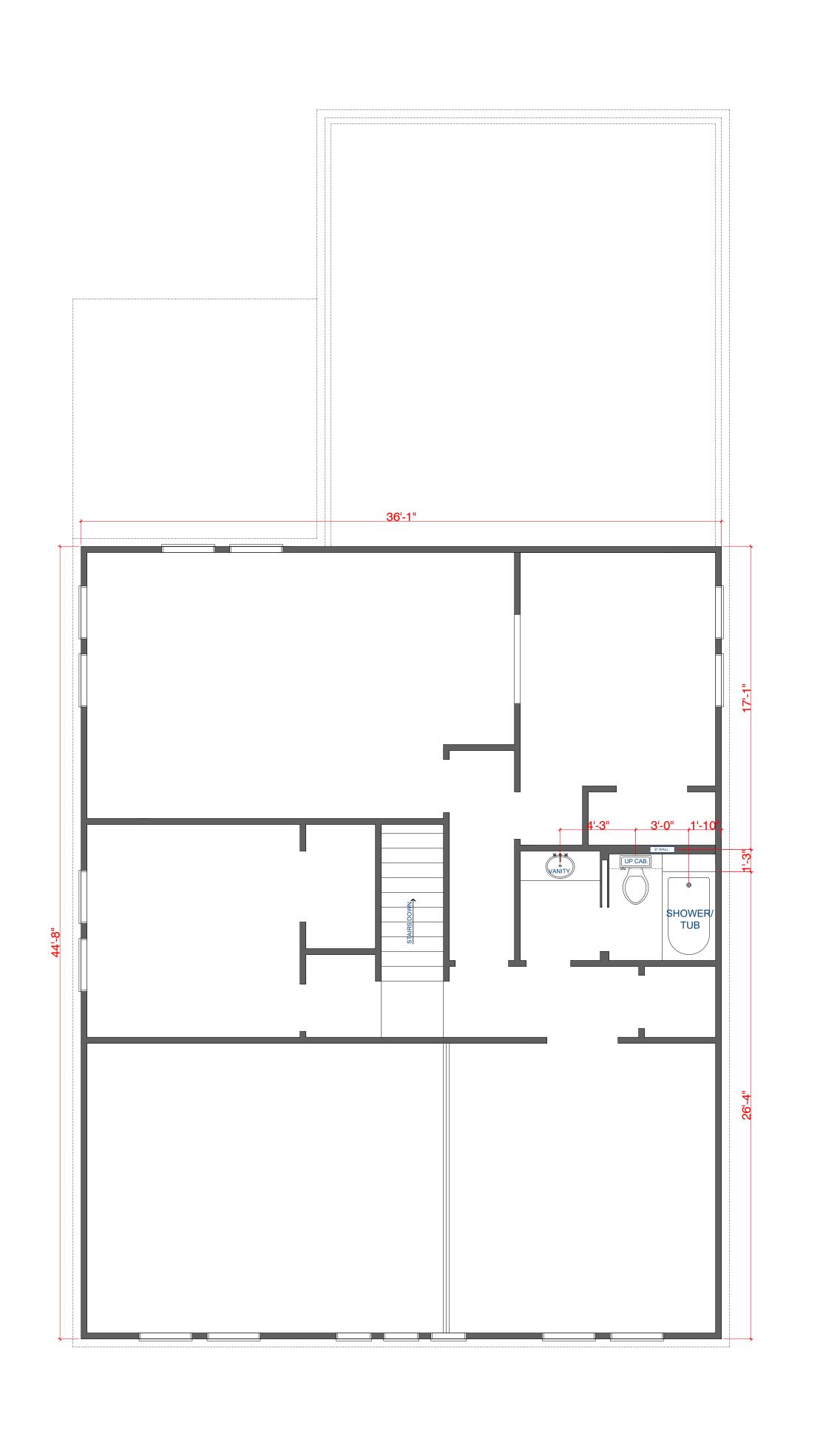
CASE #: Z2020-002 CONTRACTOR, PRIOR TO ORDERING OR BUILDING OF CABINETS.

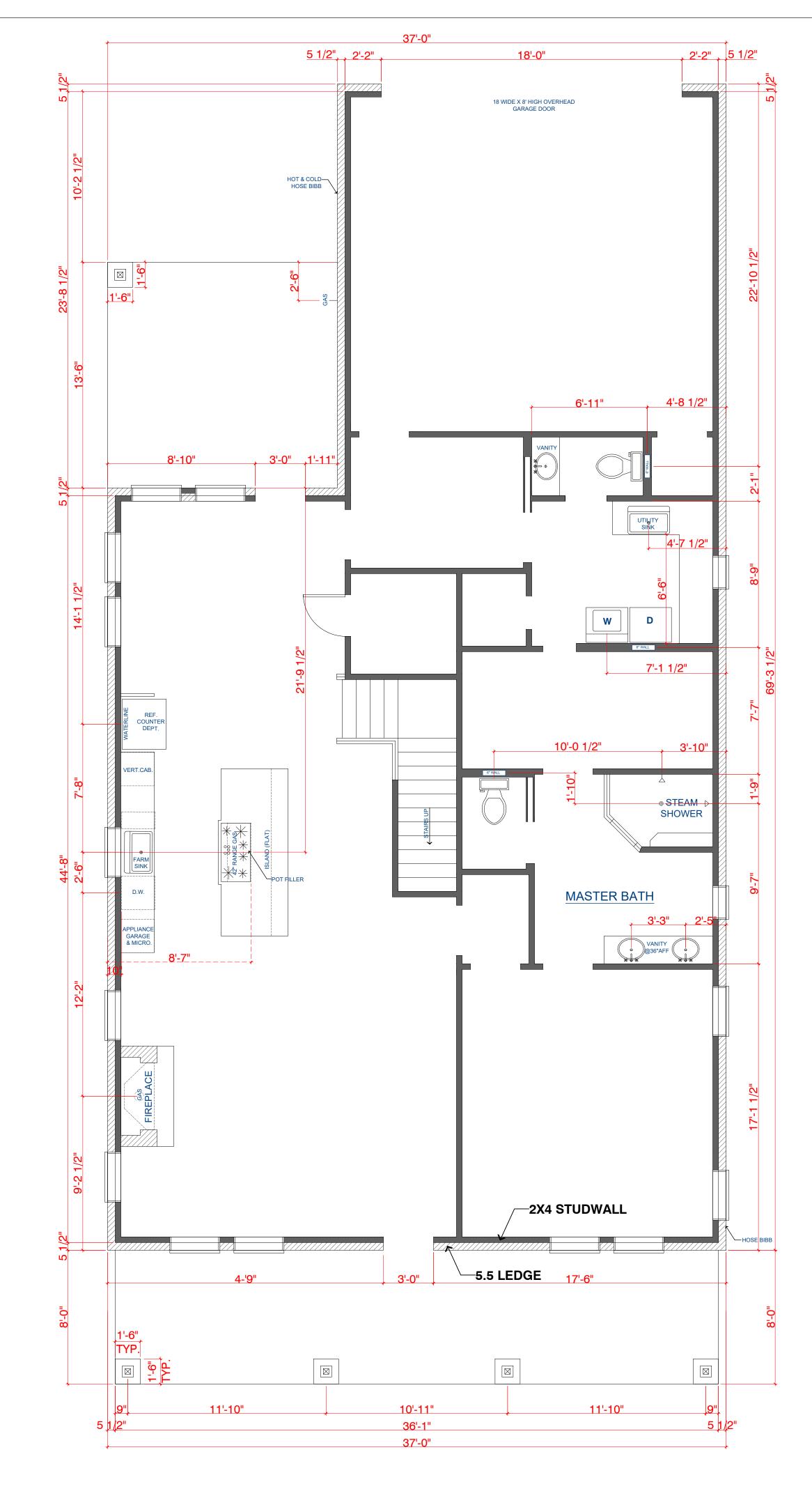
> SHEET TITLE: **FLOOR PLAN**

PROJECT/CLIENT:
MANDY HENRY

ROCKWALL

SHEET NO.: A - 1.04





**NOTES** 

ALL JOIST, BEAMS, POST, & HEADERS TO BE SIZED BY STRUCTURAL ABOVE SPECIFICATIONS. IT IS THE GENERAL CONTRACTORS MANUFACTURES LAYOUTS FOR THE EXACT LOCATIONS REQUIRED FOR

MANUFACTURERS SPECIFICATIONS; SELECTIONS BY OWNER.

PLUMBER TO VERIFY FILTRATION SYSTEM WITH OWNER.

FOUNDATION & PLUMBING - 2ND FLOOR
SCALE:1/4" = 1' - 0"

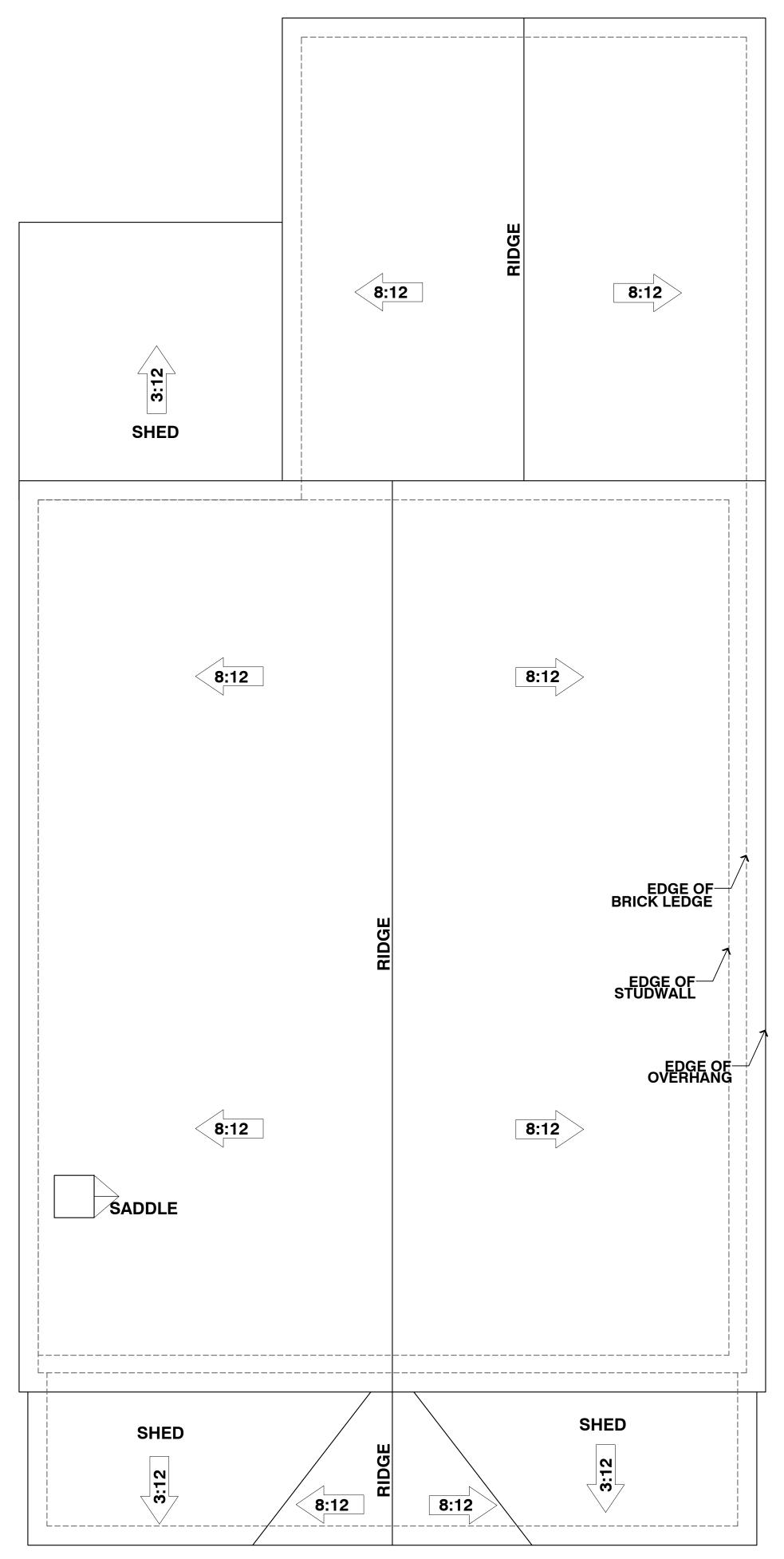
FOUNDATION & PLUMBING - 1ST FLOOR
SCALE:1/4" = 1' - 0"

CHECKED BY: ISSUED FOR PERMIT: ISSUED FOR CONSTRUCTION:

**REVISIONS:** 

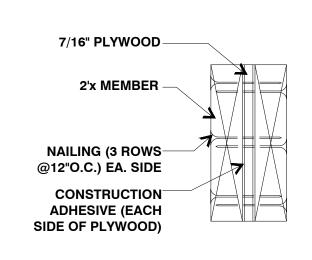
CASE #: Z2020-002

**FOUNDATION** & PLUMBING PLAN SHEET NO.:

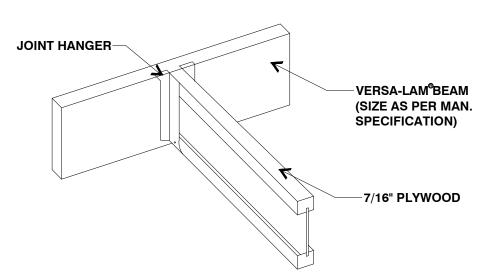


SEE ELEVATIONS FOR PLATE HEIGHTS.

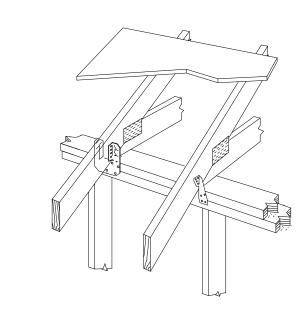






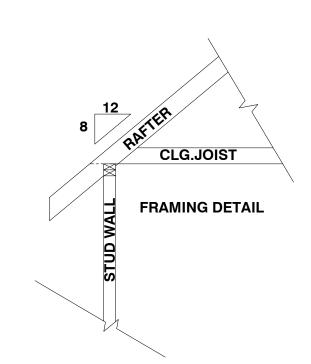


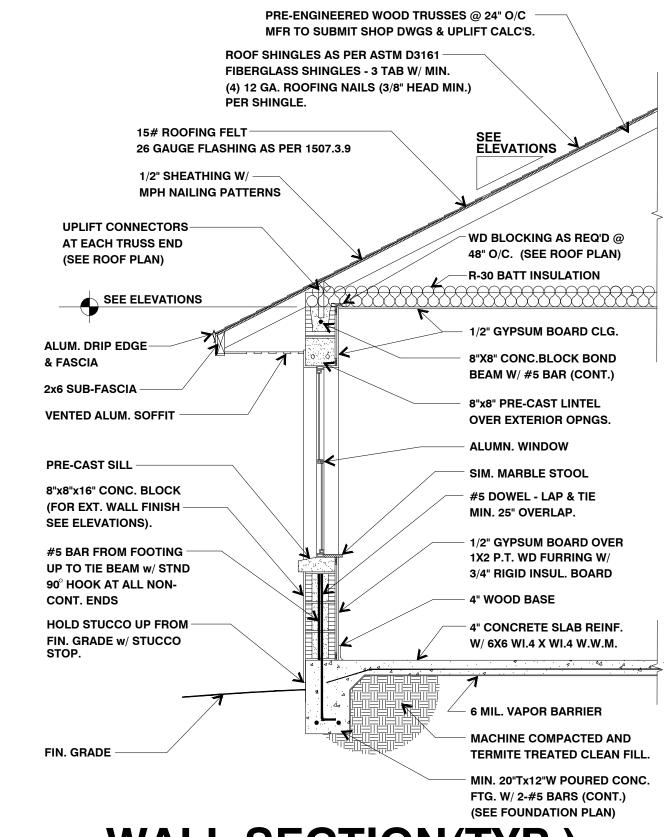




TRUSS & TOP PLATE

SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY





# WALL SECTION(TYP.) SCALE: N.T.S. SCHEMATIC-FOR GENERAL REFERENCE ONLY

# FRAMING NOTES

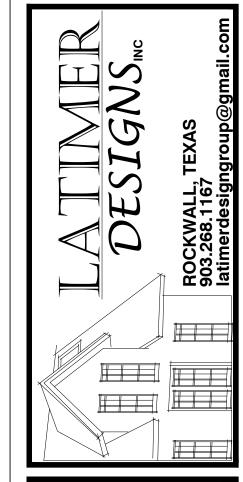
- @16"O.C, FRAMED ON THE INSIDE OF METAL COLUMNS.
- 2. CONTRACTOR TO PROVIDE 2"x BLOCKING BETWEEN ALL CEILING JOIST. 3. ALL LUMBER TO BE #2 S.Y.P. OR GREATER.

PSF (DEAD LOAD).

- 4. CONTRACTOR TO VERIFY ALL LUMBER SIZES & SPACING TO MEET ALL LOCAL & NATIONAL CODES APPLICABLE @ BUILDING SITE. ALL BEAM SIZES TO BE VERIFIED BY
- 5. ALL CEILING JOISTS SIZED TO MEET "SOUTHERN PINE COUNCIL" 2003 ED. ALL CEILING JOISTS ARE SIZED TO: 10 SPF (LIVE LOAD). 5 PSF (DEAD LOAD), WITH L/240 DEFLECTION. IF ATTIC STORAGE IS REQUIRED, CEILING JOISTS TO BE SIZED 20 PSF (LIVE LOAD), 10
- 6. ALL SITE BUILT BEAMS TO HAVE 7/16" PLYWOOD BETWEEN EACH 2"x. GLUED & NAILED **UNLESS NOTED OTHERWISE.**
- ALL CEILING JOISTS ARE 2"x6" SHOWN AT 24" O.C. UNLESS NOTED OTHERWISE 8. ALL BEAM SIZES &D LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL
- 9. ALL OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF STUDWALL, UNLESS NOTED
- 10. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", NO.
- 11. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 6", NO. 2. S.Y.P.
- 12. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE. 13. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED W/ 22 GA.,
- G.I., 24" WIDE MINIMUM. 14. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL &
- NATIONAL CODES.

# **ROOF NOTES**

- ALL ROOF PITCHED TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
- PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING. 3. ALL OVERHANGS ARE TO BE 1'-0" FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- 4. CONTRACTOR TO PROVIDE PROPER ROOF VENTILATION TO MEET ALL LOCAL &
- 5. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL &
- 6. INTERIOR CEILING PITCH AT SLOPES TO BE DETERMINED BY FRAMER.. 7. SEE ELEVATIONS FOR PLATE HEIGHT.



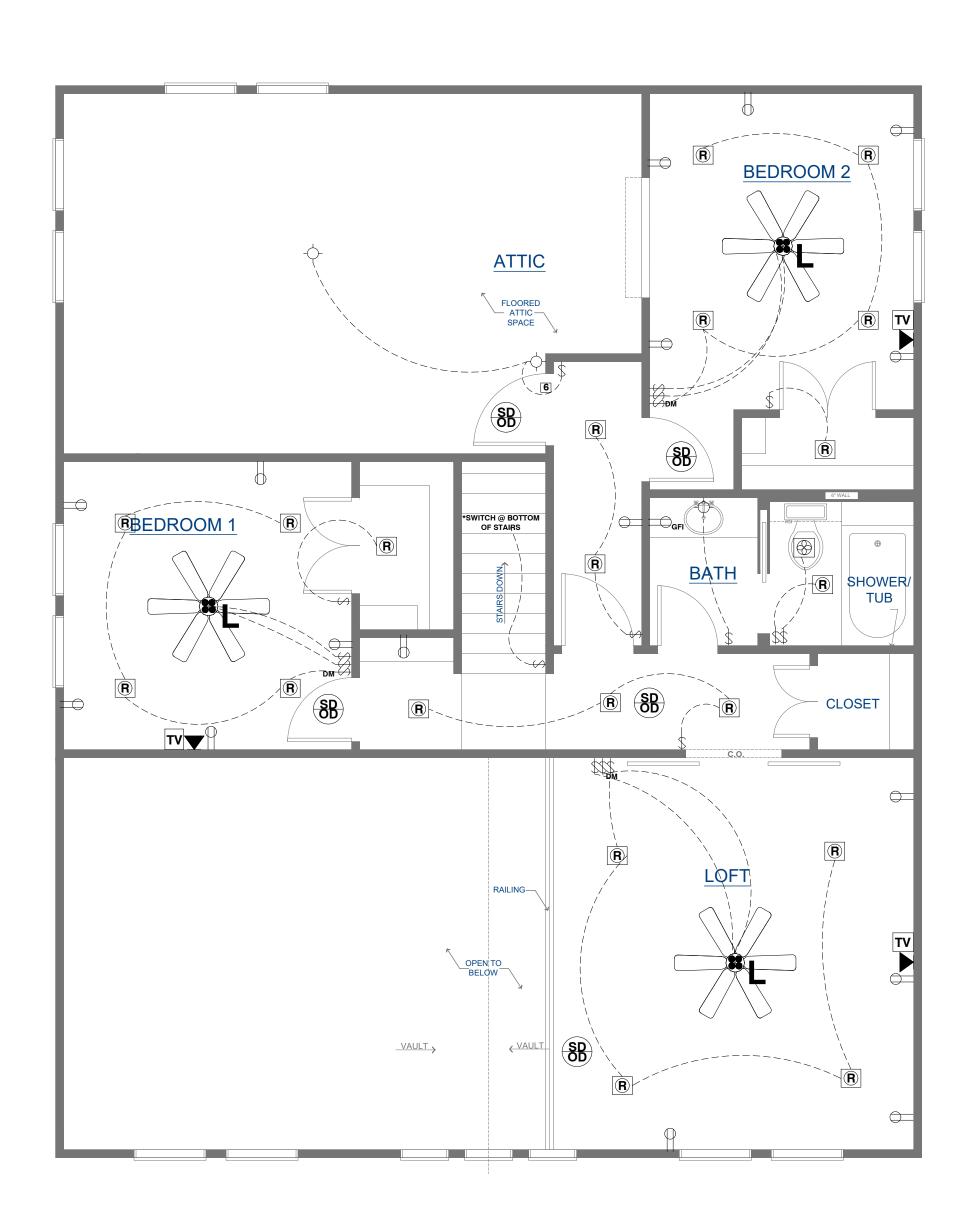
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CHECKED BY:
DATE:
ISSUED FOR PERMIT:
ISSUED FOR CONSTRUCTION:
REVISIONS:

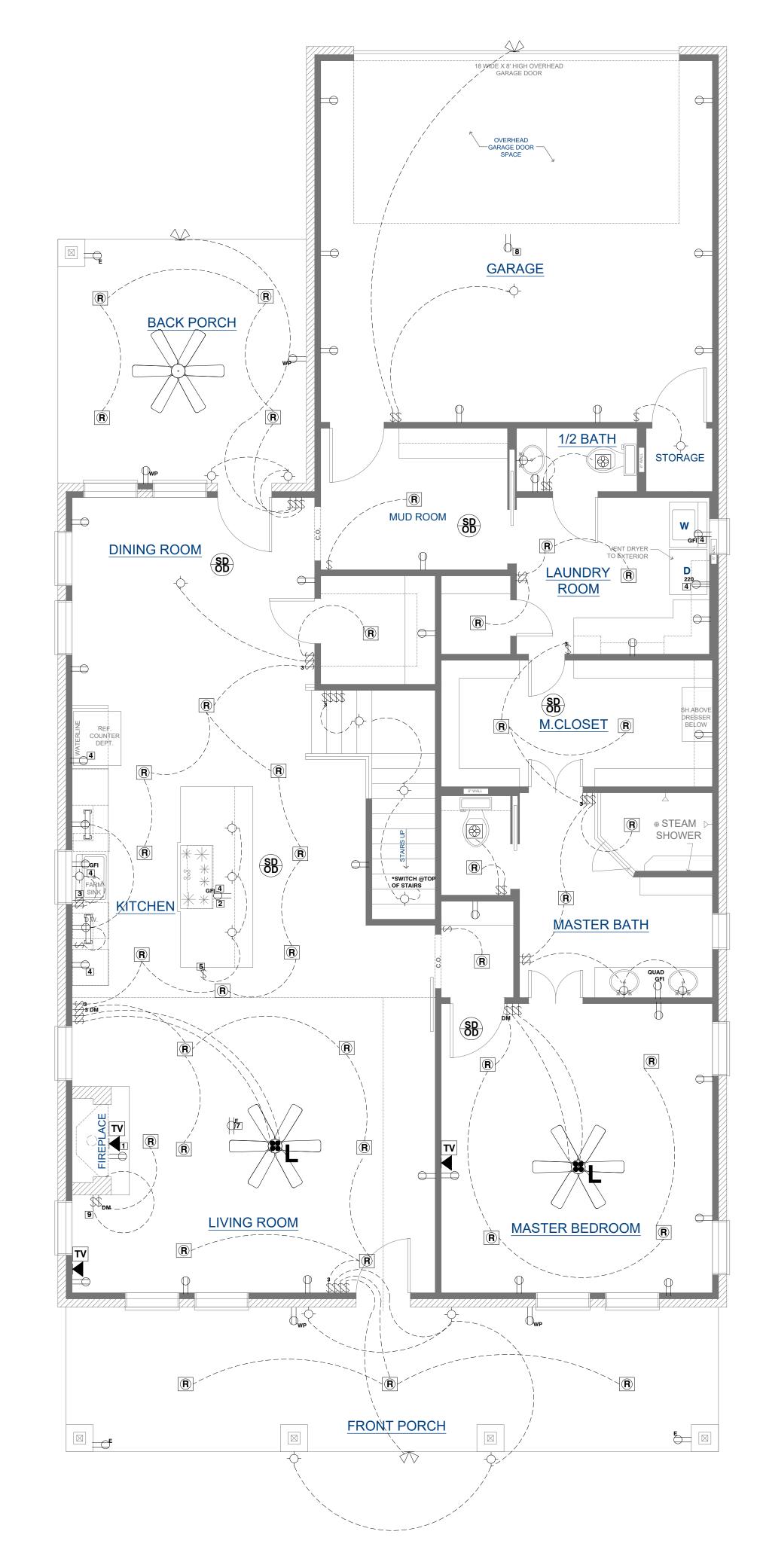
ROCKWALL AVE. CLIENT: HENRY **PARKS** 

CASE #: Z2020-002

SHEET TITLE: **ROOF PLAN** 

SHEET NO.:





# **ELECTRICAL LEGEND**

ELECTRICAL LEGEND	
ELECTRICAL	SYM.
CABLE TV OUTLETS	TV
TELEPHONE	<b>T</b>
UNDER MOUNT LIGHTS	
DOUBLE SPOTLIGHT	<u> </u>
LIGHT FIXTURE	
RECESSED CAN LIGHT (VERIFY LOCT.W/OWNER)	R
ELECT.& MOUNT KIT FOR FUTURE FAN	
CEILING FAN W/LIGHT	
CEILING FAN W/OUT LIGHT	
EXHAUST FAN W/O LIGHT	₩
WATERPROOF OUTLET	ŮwP
EXTERIOR OUTLET@EAVE	□ □ E
110 VOLT OUTLET	
220 VOLT OUTLET	220
GROUND FAULT PROTECTED OUTLET	GFI
FLOOR OUTLET W/AV	$\phi_{F}$
SWITCH	\$
SWITCH - 3 WAY	\$3
SWITCH - DIMMER	\$DM
SMOKE & CO DETECTOR	SD

# **KEYED NOTES**

- 1 OUTLET & TV AT MANTEL
- **OUTLET FOR DISPOSAL & DW UNDER SINK**
- **SWITCH FOR DISPOSAL**
- **OUTLET FOR APPLIANCES**
- **OUTLET/SWITCH HIGH ON ISLAND**
- 6 ATTIC LIGHT & SWITCH
- **FLOOR OUTLET**
- 8 OUTLET @ CEILING 9 FIREPLACE VENT FAN

# **ELECTRICAL NOTES**

- FLOOR BOXES TO HAVE 110 QUAD OUTLETS
   ALL LIGHT SWITCHES TO BE CONFIRMED WITH OWNER.
   ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS &
- MAKE ANY NECESSARY ADJUSTMENTS
- 5. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
- 6. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY

- 8. ALL LIGHTING LOCATIONS ARE APPROXIMATE & SHOULD BE BALANCED BY FOOT CANDLES PER LICENSED ELECTRICIANS & VERIFIED WITH OWNER.
- 9. SMOKE DETECTORS & CO DETECTORS TO BE COMBO U.N.O.
   10. VERIFY SECURITY SYSTEM & SPECIFICATIONS WITH OWNER.

DRAWN BY:	
CHECKED BY:	
DATE:	
ISSUED FOR PERM	IIT:
ISSUED FOR CONSTRUCTION:	
REVISIONS:	

CASE #: Z2020-002

SHEET TITLE: **ELECTRICAL PLAN** 

SHEET NO.: A - 1.07

ELECTRICAL PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"































February 13, 2020

City of Rockwall Planning & Zoning Department 385 S. Goliad St. Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts. Please consider our proposal for requesting a zoning application.

Thank you,

Reese Baez

**Triton General Contractor** 

469-931-2267

#### CITY OF ROCKWALL

#### ORDINANCE NO. 20-XX

#### SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBSIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection* 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

#### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

#### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

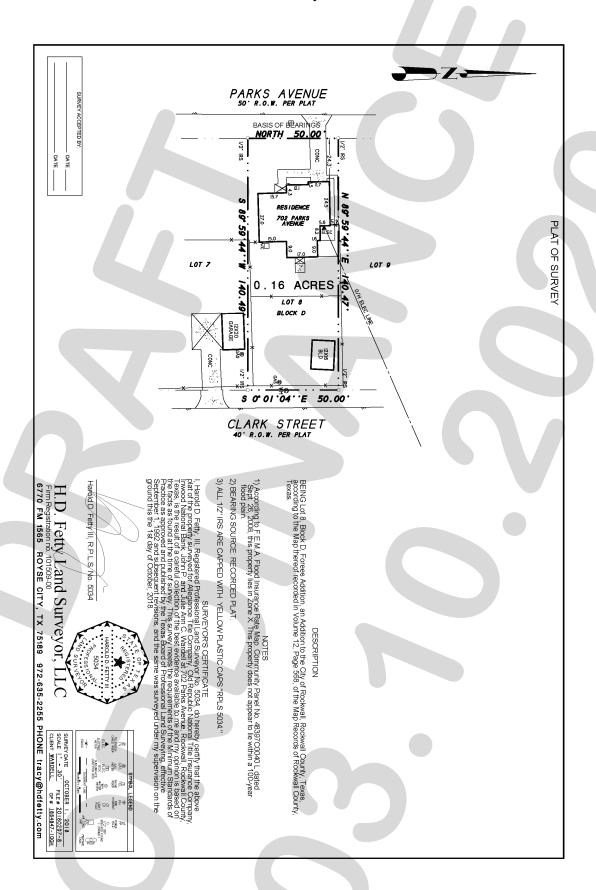
	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	

1<sup>st</sup> Reading: *March* 16, 2020

Frank J. Garza, City Attorney

2<sup>nd</sup> Reading: April 6, 2020

# Exhibit 'A': Survey

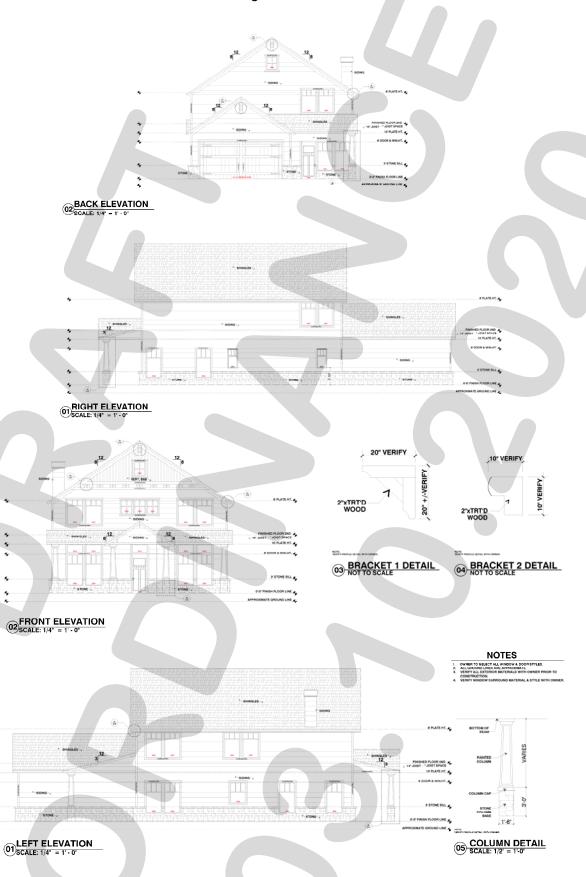


**Exhibit 'B':**Residential Plot Plan



SITE PLAN SCALE: 1/8" = 1' - 0"

# **Exhibit 'C':**Building Elevations





TO: Planning and Zoning Commission

DATE: March 10, 2020
APPLICANT: Reese Baez

CASE NUMBER: Z2020-003; Specific Use Permit (SUP) for a Residential Infill for 610 Parks Avenue

#### **SUMMARY**

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

#### **BACKGROUND**

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots. Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [are] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [1983] from which this [the] Unified Development Code is derived which has not been divided [or assembled] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

#### **PURPOSE**

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 7 (*i.e. 610 Parks Avenue*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-002*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e. 702 Parks Avenue*).

#### ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

<u>North</u>: Directly north of the subject property is 702 & 704 Parks Avenue (*i.e. Lots 8 & 9, Block D, Foree Addition*). North of this are three (3) single-family homes followed by Heath Street, which is designated as a *R2* (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e. Pecan Grove, Stark, & Wade*). All of these areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are three (3) residential homes followed by Lillian Street, which is designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a Minor Collector on the Master Thoroughfare Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (e.g. F&M, Kathleen's and Crawford, Autumn). All of these areas are zoned Single-Family 7 (SF-7) District.

<u>East</u>: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (i.e. Rockwall Assembly of God). All of these properties are zoned Single-Family 7 (SF-7) District.

<u>West</u>: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

#### CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	One (1) Stories (i.e. ~17-feet at the Midpoint of Roof)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevations of the home will face on to Parks Street.
Year Built	1929-1995	N/A
<b>Building SF on Property</b>	1,264 SF – 3,912 SF	2,726 SF
Building Architecture	Various [ <i>Minimal Traditional, Tudor, Ranch, etc.</i> ]	Comparable Architecture
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard Siding
Paint and Color	Pink, Yellow, White, and Tan	Gray (with White Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle with Standing Seam Metal Roof Element at front entry – Color: Zinc Grey
Driveways	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	Rear Entry Garage Accessible from N. Clark Street

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed

home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

#### **NOTIFICATIONS**

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) emails in opposition of the applicant's request.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 - STAFF USE ONLY -

PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indica	te the type of development request [SE	LECT ONLY ONE BOX]:
Platting Application Fees:  [] Master Plat (\$100.00 + \$15.00 Acre) 1 [] Preliminary Plat (\$200.00 + \$15.00 Acre) 1 [] Final Plat (\$300.00 + \$20.00 Acre) 1 [] Replat (\$300.00 + \$20.00 Acre) 1 [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00)  Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) 1 [] Amended Site Plan/Elevations/Landscaping Pla	Specific Use [ ] PD Developm  Other Applicatio [ ] Tree Remove [ ] Variance Rec  Notes:  1: In determining the	ge (\$200.00 + \$15.00 Acre) <sup>1</sup> Permit (\$200.00 + \$15.00 Acre) <sup>1</sup> nent Plans (\$200.00 + \$15.00 Acre) <sup>1</sup> on Fees: al (\$75.00)
DOODEDTY INCODIAL TION		
PROPERTY INFORMATION [PLEASE PRINT]	PALKWAY TE TE	087
Address UID PARYS AVE Subdivision Forces Additi	1/41 17 CA 5/4	8
Subdivision forces Additi	m voi 12. pg. 50	Lot 7 Block
General Location 742K5		
ZONING, SITE PLAN AND PLATTING INFO	ORMATION [PLEASE PRINT]	
Current Zoning lesi dential	SF-7 Current Use	Hoidential
Proposed Zoning N/A	Proposed Use	fesidential
Acreage 0.14	Lots [Current]	Lots [Proposed]
SITE PLANS AND PLATS: By checking this box you of process, and failure to address any of staff's comment		the City no longer has flexibility with regard to its approve and are will result in the denial of your case.
OWNER/APPLICANT/AGENT INFORMAT	TION [PLEASE PRINT/CHECK THE PRIMARY CO	NTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[ ] Owner	[V] Applicant	uese baer
Contact Person	Contact Person	
Address	Address	02 S. Goliad
		#108 Cochwarl, TX 75087
City, State & Zip	City, State & Zip	lockwart, 1x 15081
Phone	Phone	d- 0
E-Mail	E-Mail	Maesetritongc.com
NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personall this application to be true and certified the following:	y appeared	[Owner] the undersigned, who stated the information of
"I hereby certify that I am the owner for the purpose of this	application; all information submitted herein is t	rue and correct; and the application fee of $$215.00$
cover the cost of this application, has been paid to the City of that the City of Rockwall (i.e. "City") is authorized and per	of Rockwall on this the day of mitted to provide information contained within	, 20 . By signing this application, I agre this application to the public. The City is also authorized ar eproduction is associated or in response to a request for pub
Given under my hand and seal of office on this the	_ day of <b>EERWARY</b> 20 <b>20</b> .	MEGAN MURPHY Notary Public, State of Texas Comm. Expires 05-10-2020
Owner's Signature		Notary ID 130656823
Notary Public in and for the State of Texas	June	My Commission Expires





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

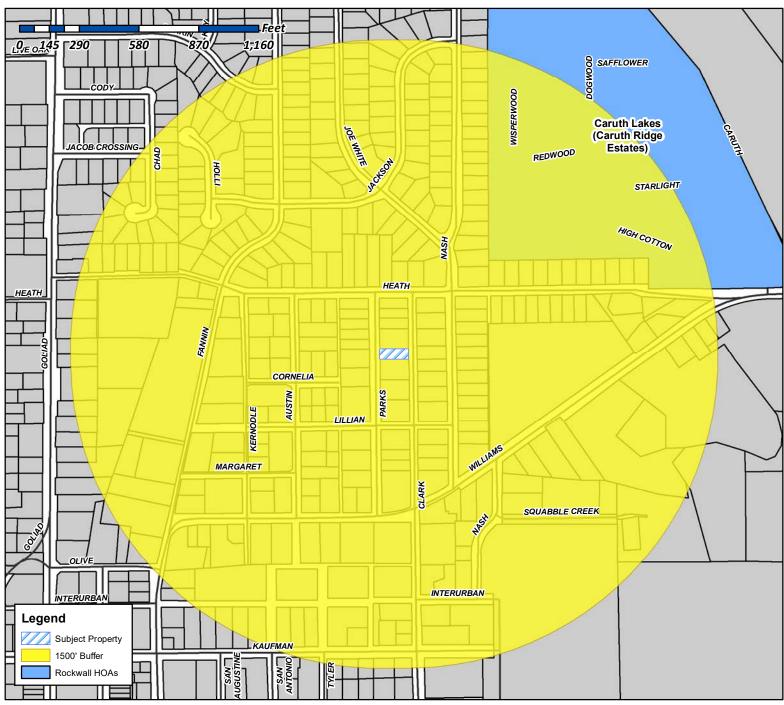




## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-003

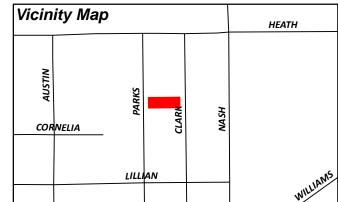
Case Name: SUP for 610 Parks Ave. Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 610 Parks Ave.

Date Created: 2/19/2020

For Questions on this Case Call (972) 771-7745



#### Gamez, Angelica

From:

Gamez, Angelica

Sent: Subject: Friday, February 28, 2020 10:30 AM Neighborhood Notification program

Attachments:

PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf;

PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

#### To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner <u>February 28, 2020</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday, March 10, 2020 at 6:00 p.m.</u>, and the City Council will hold a public hearing on <u>Monday, March 16, 2020 at 6:00 p.m.</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <a href="https://sites.google.com/site/rockwallplanning/development-cases">https://sites.google.com/site/rockwallplanning/development-cases</a>.

#### Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

#### Z2020-002 SUP for Residential Infill for 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

#### Z2020-003 SUP for Residential Infill for 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

#### Z2020-004 SUP for Residential Infill for 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

#### Z2020-005 SUP for Residential Infill for 703 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

#### Z2020-006 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

#### Z2020-007 Text Amendment to Article VIII, Landscape and Screening

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

#### Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <a href="http://www.rockwall.com/planning/hoa.asp">http://www.rockwall.com/planning/hoa.asp</a>.

Thank you,

#### Angelica Gamez

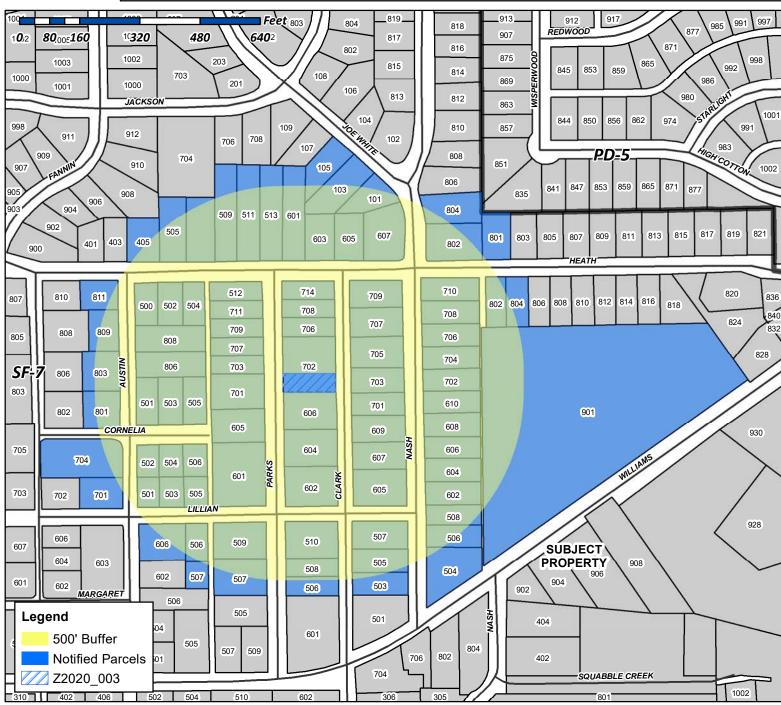
Planning & Zoning Coordinator City of Rockwall 972.771.7745 Office 972.772.6438 Direct http://www.rockwall.com/planning/



## **City of Rockwall**

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-003

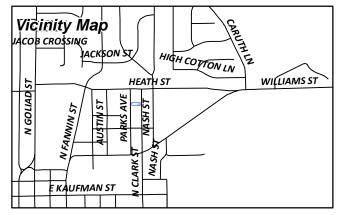
Case Name: SUP for 610 Parks Ave.

Case Type: Zoning Zoning: SUP

Case Address: 610 Parks Ave.

Date Created: 2/18/2020

For Questions on this Case Call (972) 771-7745



ROLAND RANDY C AND ANDREA B	CURRENT RESIDENT	SILVA MANUEL
101 JOE WHITE ST	103JOE WHITE	1041 E FM 552
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	BREWER SHERI RENEE	SABRSULA MELISSA
105JOE WHITE	119 SUNRISE VISTA WAY	1571 ANNA CADR RD
ROCKWALL, TX 75087	PONTE VEDRA, FL 32081	ROCKWALL, TX 75087
KENNEDY HAYLEY	RIPSTOP PROPERTIES LLC	HARRIS RICHARD D & JUDY A
201 CHAMPION DR	205 S CLARK STREET	210 GLENN AVE
WYLIE, TX 75095	ROCKWALL, TX 75087	ROCKWALL, TX 75087
REDDEN POLLY PEOPLES	GRIFFIN PATTY JEAN CORNELIUS	PARK ALLEN
213 SOVEREIGN CT	2140 AIRPORT RD	2301 LAFAYETTE DR
ROCKWALL, TX 75032	ROCKWALL, TX 75087	HEATH, TX 75032
KAUFMANN EVAN J	GLASS JERRY R	ZYLKA JOE AND BONNIE
2312 BAHAMA RD	301 MEADOWDALE DR	3021 RIDGE RD STE A-66
AUSTIN, TX 78733	ROCKWALL, TX 75087	ROCKWALL, TX 75032
VANHORN PENNI AND JOE ZYLKA AND BONNIE ZYLKA 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032	CURRENT RESIDENT 405EHEATH ROCKWALL, TX 75087	KIRKPATRICK DAVID S & RHONDA D 500 E HEATH ST ROCKWALL, TX 75087
HOLZHEIMER THOMAS R AND NICOLE M	GREENAWALT PATRICK ALAN	BARNETT GEORGE S
501 CORNELIA ST	501 LILLIAN ST	502 CORNELIA ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
MCINTIRE J M & ERLINDA	SHERMAN PATRICIA AND MARK	CURRENT RESIDENT
502 E HEATH ST	503 NASH ST	503CORNELIA
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
TANTON MELVIN V JR	CURRIE DUNCAN & JOETTA	CURRENT RESIDENT

ALSOBROOK HAROLD DAVID JR 505 CARRIAGE TRAIL ROCKWALL, TX 75087

504 E HEATH ST

ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN 505 CORNELIA ROCKWALL, TX 75087

504 NASH STREET

ROCKWALL, TX 75087

BARRON GILDARDO 505 LILLIAN ST ROCKWALL, TX 75087

504CORNELIA

ROCKWALL, TX 75087

DAVIS JUDY	CURRENT RESIDENT	UC RUBEN & EDITH CORTE DE
505 NASH ST	505EHEATH	506 LILLIAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BLESSING RUSSELL BENNETT	CURRENT RESIDENT	CURRENT RESIDENT
506 NASH	506CORNELIA	506PARKS
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BUTLER JOSEPH DAVID AND ROSE LOUISE	TOLMAN BROOKS	CAWTHON RICK
507 NASH ST	507 PARKS AVE	508 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
FREEMAN WILLIAM B JR	DOROTIK DAVID W	CURRENT RESIDENT
508 PARKS AVE	509 PARKS AVE	509EHEATH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
RICHARDSON PATRICE	CURRENT RESIDENT	COATS LOIS LOUISE
510 COVE RIDGE RD	510PARKS	512 E HEATH ST
HEATH, TX 75032	ROCKWALL, TX 75087	ROCKWALL, TX 75087
DENNIS KIMBERLY	TROWBRIDGE PATRICK A & ELIZABETH	STEGALL VENTURES LLC
513 E HEATH ST	601 PARKS AVE	601 SUNSET HILL DRIVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	SIMMONS APRIL R	LEAL ROLAND & CAROL
601EHEATH	602 NASH STREET	602 PARKS AVENUE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SUTTON JUDITH A	HOWARD DEBORAH K	FUQUA MATTHEW
603 E HEATH ST	604 NASH ST	604 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
LINDSAY WILLIAM & JULIA	DINGWELL MARGUERITE NASH & ADAM	DAVIS SUSAN ELAINE BYRD
605 NASH ST	605 PARKS AVE	605 STORRS
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	DANIEL RODNEY

605PARKS

ROCKWALL, TX 75087

606 AUSTIN ST

ROCKWALL, TX 75087

605EHEATH

ROCKWALL, TX 75087

GALASSI TORI D	WALLS JEFFREY V & NATALIE ANN	SPERLING SANDY
606 NASH ST	606 PARKS AVE	607 E HEATH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BHATIA SACHIT S AND LAURA NICOLE JONES 607 NASH STREET ROCKWALL, TX 75087	STARK ROBERT S & TINA J 607 SAINT MARY ST ROCKWALL, TX 75087	OGDEN BRANDON & LIDIA 608 NASH ST ROCKWALL, TX 75087
TORRES ROSIE	CURRENT RESIDENT	BLAZEK ALVIN F & DOROTHY H
609 NASH ST	610NASH	6634 DAVIS DR
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROYSE CITY, TX 75189
CASTRO RENE & BETSY	MOONEY BEULAH CHRISTINE	CASTILLO AGAPITO & ESTELA
700 WINDSONG LN	701 AUSTIN ST	701 PARKS AVE
ROCKWALL, TX 75032	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	TEMPLETON LORRAINE BIEGLER	CURRENT RESIDENT
701NASH	702 NASH ST	702PARKS
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
ELLISTON REBECCA S	HANSON BRANDON R	THOMAS TRACY
703 NASH STREET	703 PARKS AVE	704 KERNODLE ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT 704NASH ROCKWALL, TX 75087	RUSHING BRIAN AND CHANEL KENTOPP 705 NASH ST ROCKWALL, TX 75087	ARELLANO JESUS L & CYNTHIA A HERRERA 706 NASH ST ROCKWALL, TX 75087
PECINA JOE & LORETHIA ANN	CURRENT RESIDENT	CURRENT RESIDENT
706 PARKS AVE	707NASH	707PARKS
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KOLWINSKA GERALDINE D	CURRENT RESIDENT	BARRON ARMANDO
708 PARKS AVE	708NASH	709 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	STARK ROBERT C	KING MISTY
709NASH	710 AGAPE ST	710 NASH STREET
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

NIXON ALBERT	CONAWAY SUE ANN	PALMER LINDA C
711 PARKS AVE	7123 OCONNELL ST	714 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	COLUNGA MAXIMO & MARGARITA	CURRENT RESIDENT
801AUSTIN	802 E HEATH ST	802NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	BROWN REBECCA AND THOMAS	CURRENT RESIDENT
803AUSTIN	804 E HEATH ST	804NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
AUSTIN TRENTON C	CURRENT RESIDENT	CURRENT RESIDENT
806 AUSTIN ST	808AUSTIN	809AUSTIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
JENNINGS AMANDA L	CURRENT RESIDENT	MCCLAIN LOUETTA
811 AUSTIN ST	811AUSTIN	8309 TURNBERRY ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROWLETT, TX 75089
WARDELL JOHN P & JULIE C	CURRENT RESIDENT	BELANGER CORKY
880 IVY LN	901WILLIAMS	921 N ALAMO RD
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT EHEATH ROCKWALL, TX 75087	WIMPEE JANIE K LIFE ESTATE RICHARD D WIMPEE AND JUDY A HARRIS AND JOE E WIMPEE AND JERRY M WIMPEE 704 E MAPLE ST FAYETTEVILLE, AR 72701	KINDRED ROBERT M P.O. BOX 261638 PLANO, TX 75026
ROCKWALL ASSEMBLY OF GOD C/O DAVID SPIEGEL PO BOX 33 ROCKWALL, TX 75087	AWAJA PROPERTIES LLC PO BOX 811 ROYSE CITY, TX 75189	CURRENT RESIDENT ROCKWALL, TX 75087
CURRENT RESIDENT ROCKWALL, TX 75087	CURRENT RESIDENT ROCKWALL, TX 75087	

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Case No. Z2020-003: 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.,** and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning





#### MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -
Case No. Z2020-003: 610 Parks Avenue
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

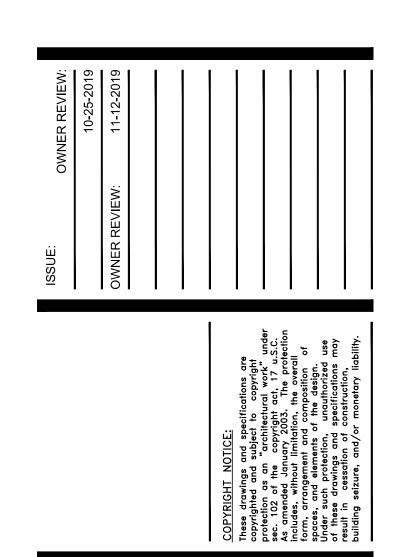
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



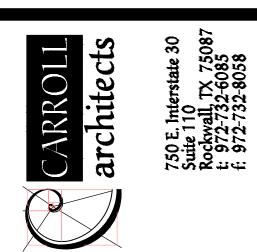
# PROPOSED RESIDENCE FOR MURRHY

610 Parks Ave. Rockwall, Texas 75087



MURPHY
610 Parks Ave.
Rockwall, Texas 7508

MEGAN MURPHY
Wild Oak
Rockwall, TX. 75087



COVER PAGE

OCT 2019

PROJECT NO:

2019060

DRAWN BY:

CHECKED BY:



EXTERIOR FINISH SCHEDULE:

A HARDIE BOARD SIDING, FASCIA & TRIM, COLOR: GRAY

HARDIE BOARD SIDING, COLOR: GRAY

STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.Q., COLOR: ZINC GREY

PREFINISHED ALUMINUM FLASHING, COLOR TO MATCH SIDING

E ENTRY DOORS AS SELECTED

WINDOW - INSULATED, COLOR: BLACK

G COMPOSITION ASPHALT ROOF, TYP., (270lbs)

4X6 GUTTER & DOWNSPOUT - PREFINISHED, COLOR: AS SELECTED BY OWNER

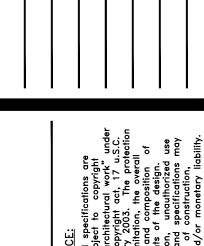
GABLE END, 8" DECOR. WOOD TRIM COLOR: WHITE (K) 6X6 WOOD POST @ PATIO

L 1X WOOD TRIM @ DECOR. COLUMNS

MURPHY RESIDENTIAL

CITY OF ROCKWALL CASE NUMBER Z2020-003

APPLICANT
Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com



PROPOSED RESIDENCE FOR MURPHY Parks 610 W. I Rockwall, <sup>7</sup>

MR. SAM & MEGAN MURPHY



**EXTERIOR ELEVATIONS** 

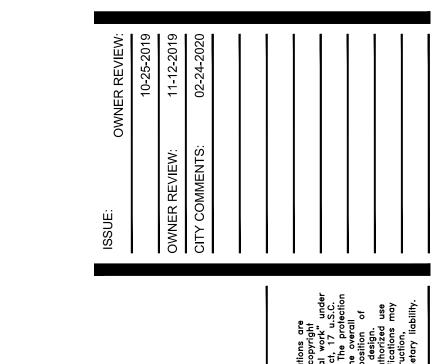
OCT 2019

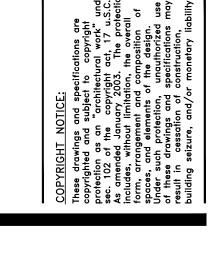
PROJECT NO:

CHECKED BY:

A501

NORTH ELEVATION SCALE: 3/16" = 1'-0"





610 W. Parks A Rockwall, Texas 7

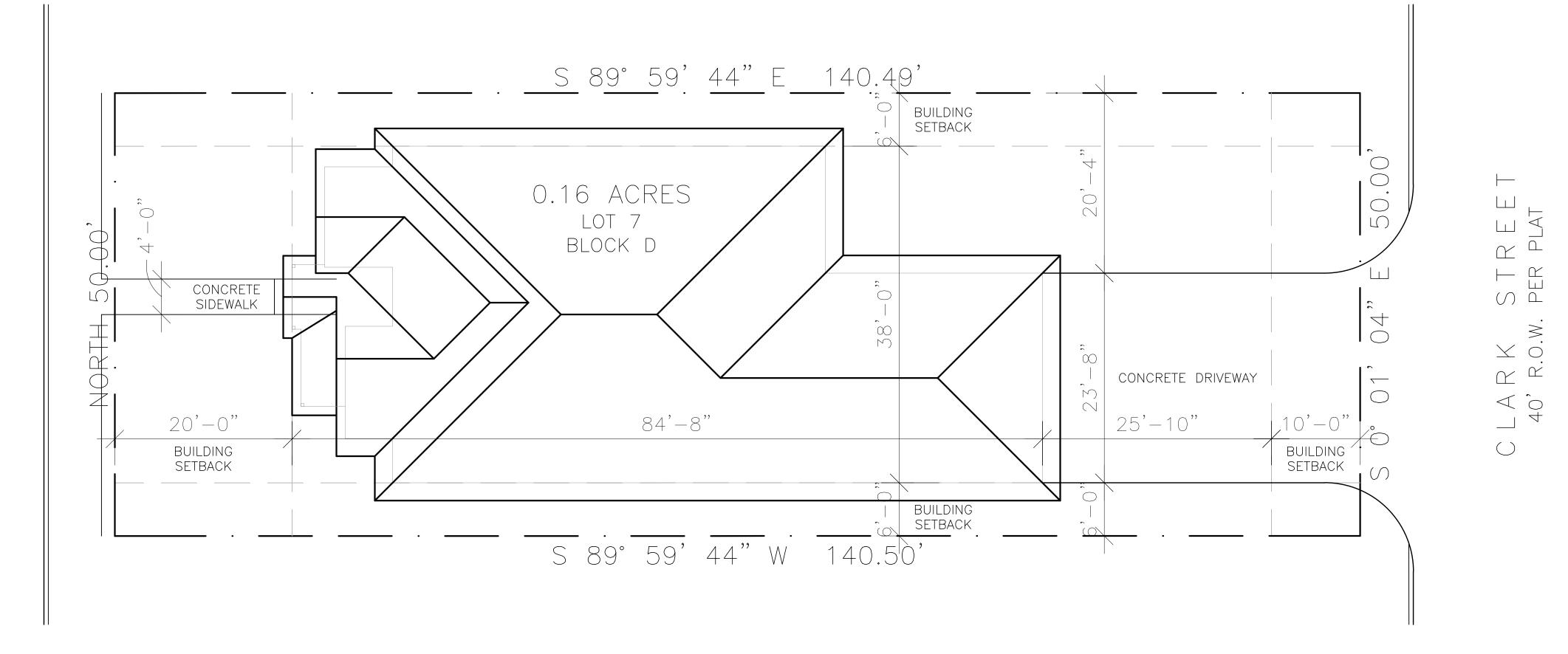
MR. SAM & MEGAN MURPHY

## ARCHITECTURAL SITE PLAN

OCT 2019 PROJECT NO:

CHECKED BY:

A100



AVENU Per Plat

y o

Р А Р 50,



ARCHITECTURAL SITE PLAN

MURPHY RESIDENTIAL LEGAL DESCRIPTION AND OR ADDRESS: LOT 7 Block D Foree tract 610 Park Avenue City of Rockwall, Rockwall County, Texas APPLICANT
Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com OWNER Mr. Sam & Megan Murphy Wild Oak Rockwall, TX 75032

CITY OF ROCKWALL CASE NUMBER Z2020-003

TABULATIONS:

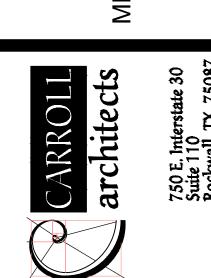
A/C AREA = 1,870 SF

GARAGE = 553 SF

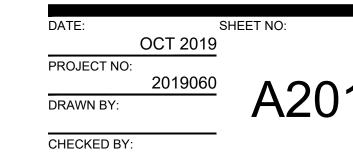
FRONT PORCH = 167 SF

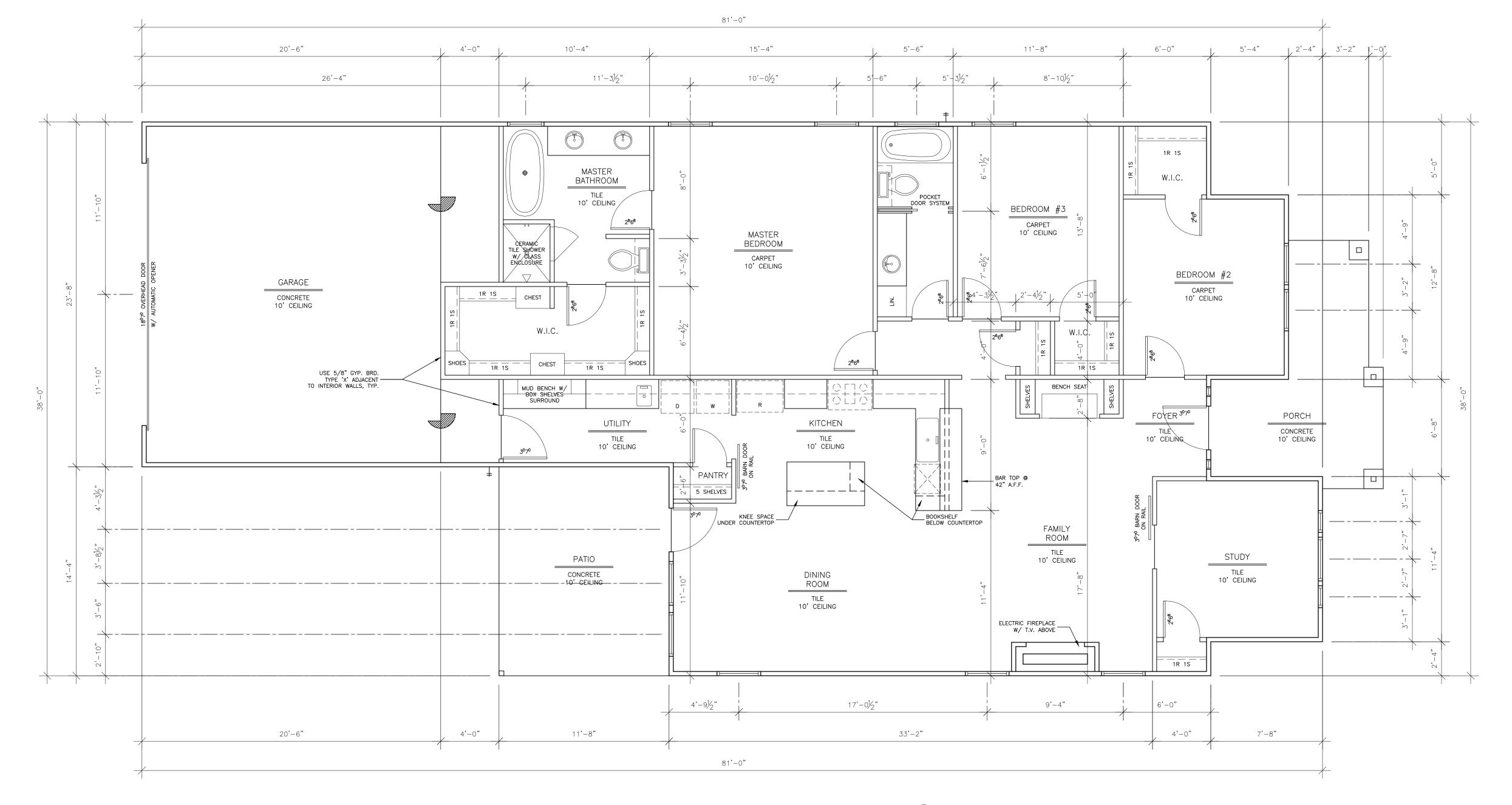
BACK PATIO = 136 SF

TOTAL COVERED = 2,726 SF



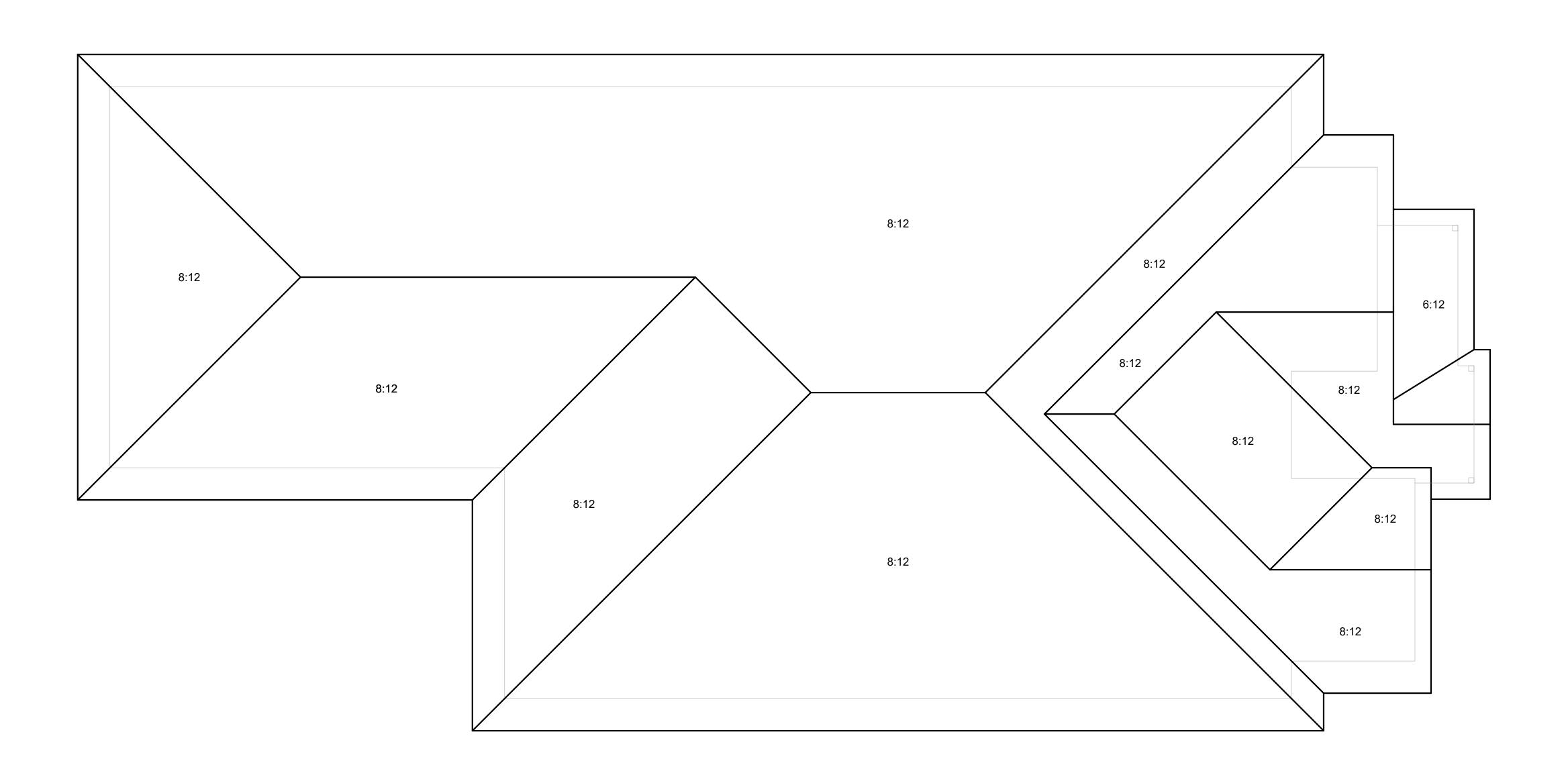
FLOOR PLAN

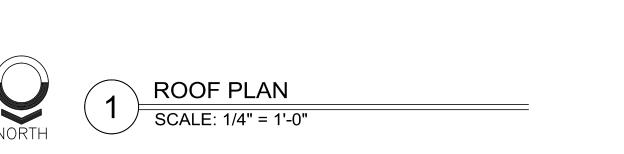


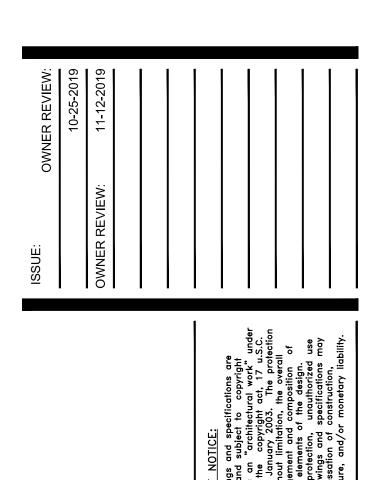










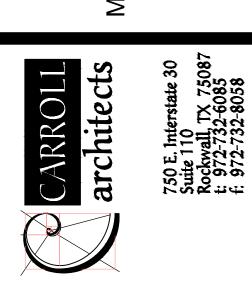


PROPOSED RESIDENCE FOR

MURPHY
610 Parks Ave.

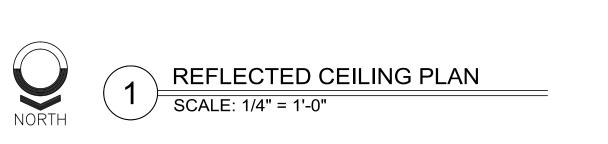
Rockwall, Texas 75087

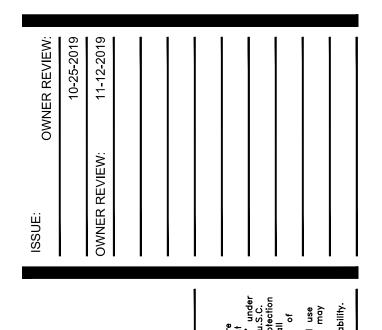
MR. SAM &
MEGAN MURPHY
Wild Oak

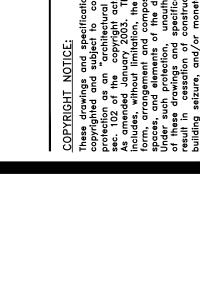


**ROOF PLAN** 

DATE:		SHEET NO:
	OCT 2019	
PROJECT NO:		
	2019060	<b>A 20</b>
DRAWN BY:		A3U
CHECKED BY:		

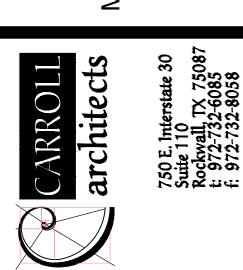






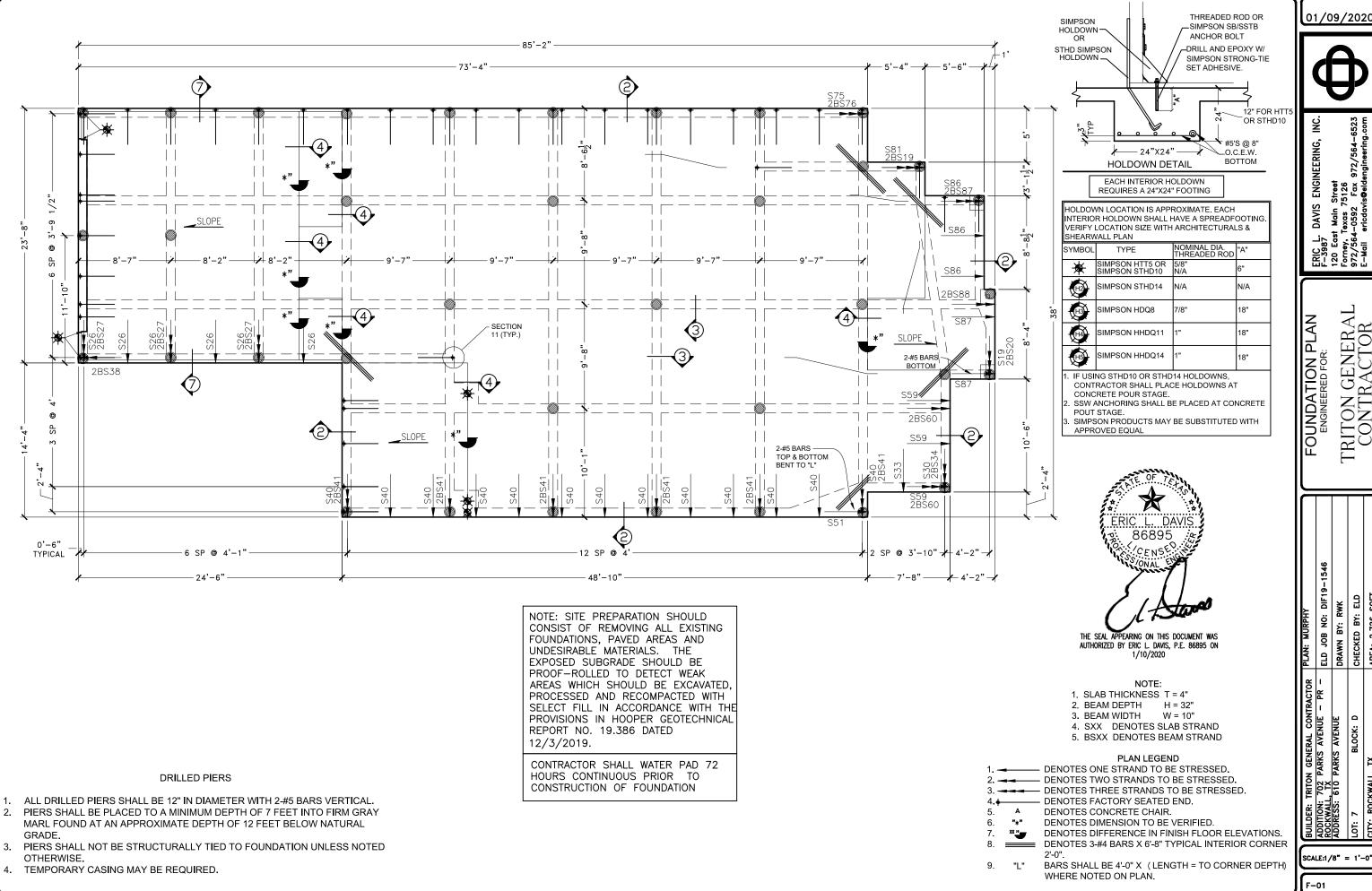
ROPOSED RESIDENCE FOR MURPHY

MR. SAM &
MEGAN MURPHY
Wild Oak
Rockwall, TX. 75087



REFLECTED CEILING PLAN

OCT 2019 PROJECT NO: 2019060 DRAWN BY: A6	DATE:	:	SHEET NO:
2019060		OCT 2019	
2019060 A6	PROJECT NO:		ı
DRAWN BY:		2019060	<b>ACC</b>
	DRAWN BY:		Abl



01/09/2020

TRITON GENERAL CONTRACTOR

### **GENERAL NOTES** ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH. STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER. CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE. CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT. WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615. WHERE REBAR IS USED FOR EXPOSED GRADE BEAMS OR TOP AND BOTTOM REINFORCING, PROVIDE MATCHING "L" BARS WITH EACH LEG EQUAL TO 40 BAR DIAMETERS OR GRATER. CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS." I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION. WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF # DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SITE PREPARATION NOTES IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS. FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING. SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION. SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION. CONSTRUCTION NOTES SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION, ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION A MINIMUM OF 2-5% (1/4 - 5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE. FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6' CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED. SEE PLAN BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUNDED IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED. BEAM TRENCH BOTTOMS MAY BE ROUNDED BY TRENCH CUTTING DEVICE. AVERAGE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN DESIGN BEAM WIDTH, "W", NOTED ON FOUNDATION PLAN. AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE. TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4' MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE. WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED ARCHITECTURAL PLANS SHALL CONTROL COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS SLOPES, BRICK-LEDGES AND RELATED ITEMS. IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE. PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB. WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITH 5' OF FOUNDATION EDGE. IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION. SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER. . TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE - HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER, IF IMPRACTICAL, A DEEPENED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE HALF OF TREE OR SHRUBS MATURE HEIGHT. 18. LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED. STRESSING NOTES EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.

A PRE-POUR INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD. THE ENGINEER IS ALSO AVAILABLE FOR PLACEMENT AND TENDON STRESSING OPERATIONS.

THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN THE PROJECT GEOTECHNICAL REPORT PROVIDED FOR THE SPECIFIC TRACT OF LAND PROPOSED STRUCTURE IS TO BE CONSTRUCTED. THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN WHICH THE ENGINEER MAY HAVE RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF THE CLIENT PROVIDED GEOTECHNICAL REPORT DOES NOT FOLLOW GUIDELINES OF THE POST- TENSIONING INSTITUTE, THE ENGINEER MAY SUBSTITUTE USABLE DESIGN INFORMATION DERIVED FROM RAW SOILS DATA OBTAINED FROM SAID GEOTECHNICAL REPORT.

FOR FOUNDATION TO PERFORM AS DESIGNED, OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING FOUNDATION AT ALL TIMES. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE SOIL CRACKS OR PULLS AWAY FROM FOUNDATION.

BUILDER ACKNOWLEDGES IMPORTANCE OF FOUNDATION MOISTURE MAINTENANCE AND TRANSMITS TO OWNER WITH OWNER'S RECEIPT ACKNOWLEDGED.

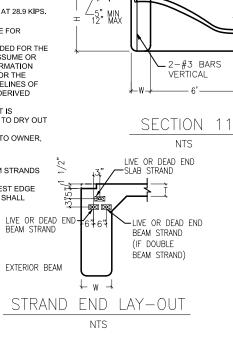
#### BEAM CABLE NOTE

BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).

SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL

THIS POST-TENSTION CABLE FOUNDATION DESIGN IS APPLICABLE TO THE SPECIFIC PROJECT AND LOCATION LISTED ON THIS SHEET. USE OF THIS DRAWING FOR OTHER PROJECTS AND/OR LOCATIONS IS PROHIBITED.

POST-TENSTION CABLES ARE TO BE SUPPLIED BY A PTI CERTIFIED PLANT.



WHEN INDICATED

CONCRETE CHAIRS

4'-0" MAXIMUM

DRAPED BEAM

STRANDS "BS

SLAB STRAND "S"

WHEN INDICATED

IN PLAN VIEW

CONCRETE CHAIRS

4'-0" MAXIMUM

BEND AND EXTEND 1'- 6" PAST EACH

CORNER TOP &

BOTTOM OF BEAM

O.C.E.W

③

SECTION

NTS

\*ANCHOR SHALL BE

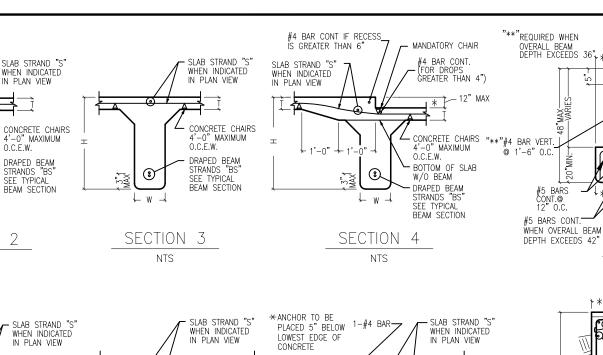
SECTION 6

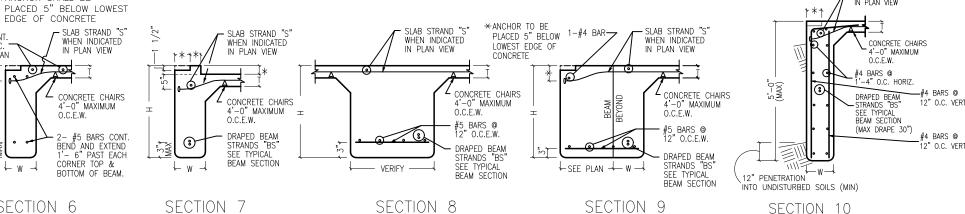
EDGE OF CONCRETE

IN PLAN VIEW

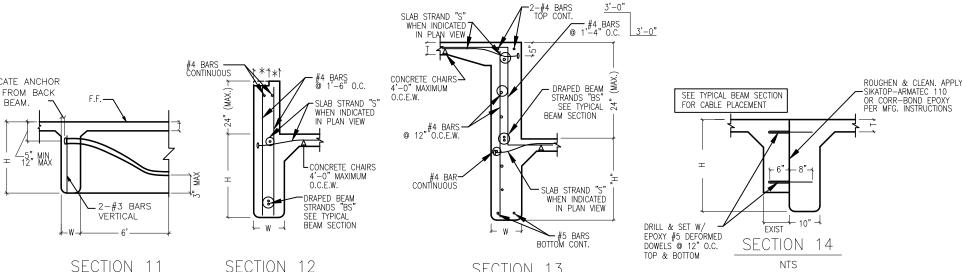
STRANDS

SEE TYPICA

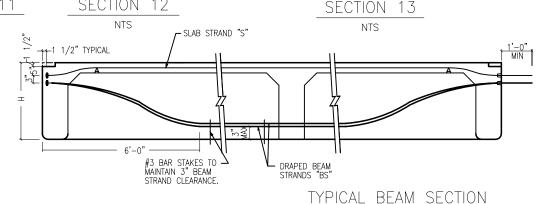




NTS



NTS



86895 THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS. P.E. 86895 ON

1/10/2020

**GENERAL NOTES & TYPICAL SECTIONS** FOR POST-TENSIONED CABLE **FOUNDATIONS** 

F-02

01/09/2020

SLAB STRAND "S" WHEN INDICATED

CONCRETE CHAIRS 4'-0" MAXIMUM

\* "\*\*"2-#4 BARS CONT. MID DEPTH

DRAPED BEAM STRANDS "BS"

BEAM SECTION

(MAX DRAPE 30")

STRANDS "BS

SECTION 5

NTS

SLAB STRAND "S" WHEN INDICATED

IN PLAN VIEW

IN PLAN VIEW

O.C.E.W.

ENGINEERING, DAVIS

FOUNDATION DETAILS
ENGINEERED FOR:
TRITON GENERAL
CONTRACTOR

: DIF19-LAN: MURPH DRAWN BY AVENUE PARKS ROCKWALL, TX ADDRESS: 610

SCALE: N.T.S.

ä

	SYMBOL KEY
0	SIMPSON STHD10 or HTT5 HOLDOWN
<b>②</b>	CS16 STRAPPING, 3' MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS
$\bigcirc$	BRACED WALL PANEL - SEE DETAILS
BWL	BRACED WALL LINE
	DASHED LINE INDICATES STRUCTURAL SHEATHING

FASTENING FOR THERMO PLY			
MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING	
16"	NO. 16 GAGE STAPLES I" CROWN x I ½" LEGS	3 - PANEL EDGES 3 - INTERMEDIATES SUPPORTS	

I) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 10'-0" PROVIDE 2X4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 10'-0" TO 15'-O", PROVIDE 2X6 CONTINUOUS STUDS @ 16"

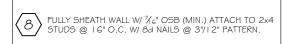
2) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH 2015 I.R.C.

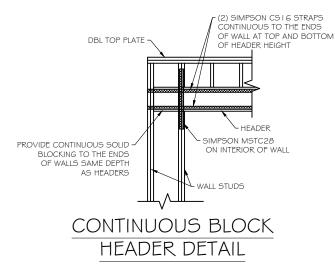
### DESIGN BASED ON 115 MPH ULTIMATE DESIGN WIND SPEED, EXPOSURE B.

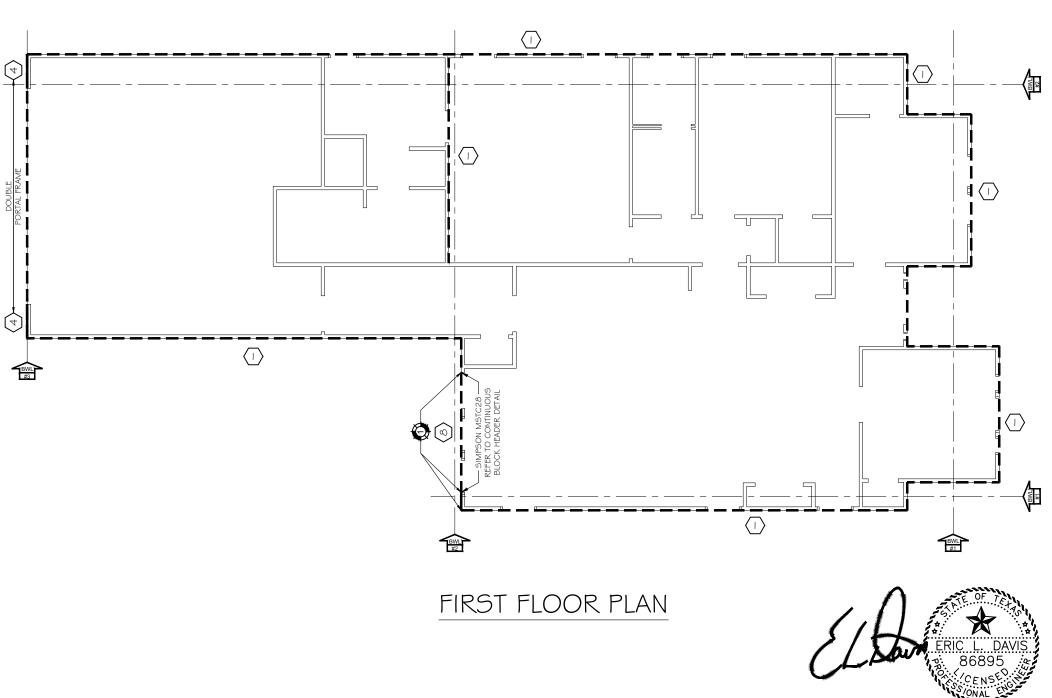
F CONDITIONS VARY, CONTACT THIS OFFICE

51	STUD HEIGHT SCHEDULE												
STUD		WALL HEIGHT											
SIZE	8'	9'	10'	1.11	12'	13'	14'	15'	16	18'	19'	20'	
2x4	16"	16"	16"	MOTEC	MOTEC								NO
2x6				16"	16"	16"	16"	16"	12"	12"	(2) 16"	(2) 16"	NER (
2x8									16"	16"	16"	16"	SE

) I 15 M.P.H. EXP. B ) FINGER JOINTED 15 PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR. JOINTS. ) IG IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)







01/08/2020

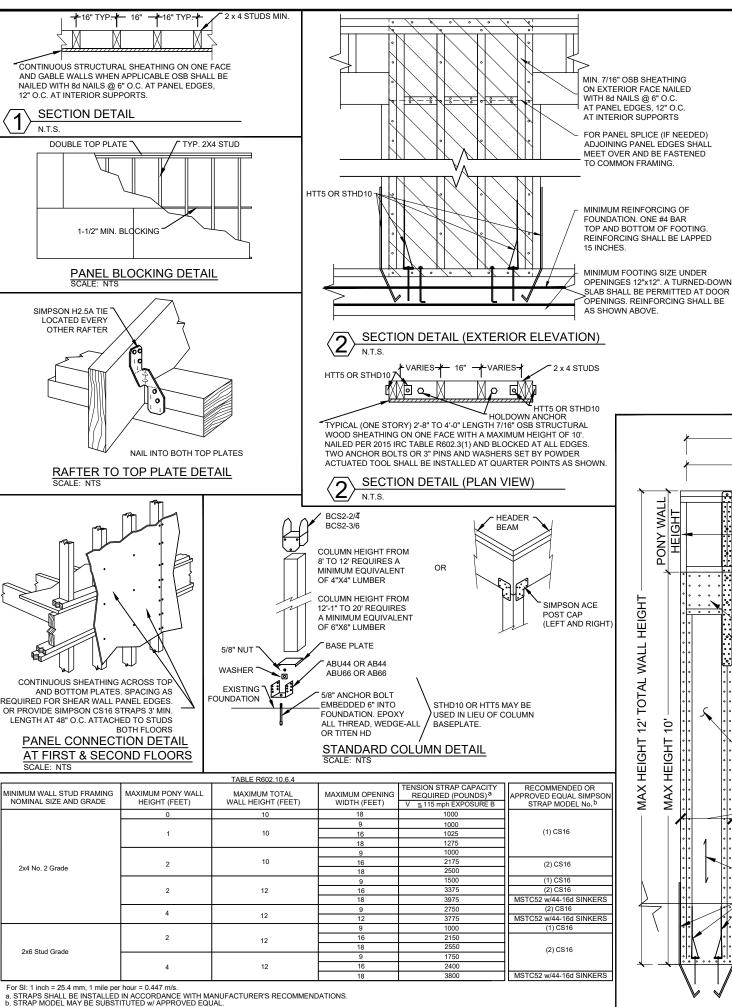
ENGINEERING,

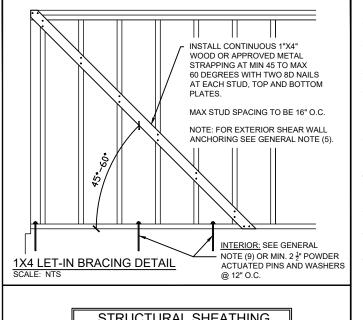
PLAN: MURPHY	ELD JOB NO: DIF19-1546	DRAWN BY: RC	CHECKED BY: ELD	
: TRITON GENERAL CONTRACTOR PLAN: MURPHY	4: 702 PARKS AVENUE - PR - LL, TX	S: 610 PARKS AVENUE	BLOCK: D	

SCALE: 1/8"=1'-0"

SW-01

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/9/2020





### STRUCTURAL SHEATHING

PORTAL FRAME (SINGLE AND DOUBLE)

4 POR

- IS CONSIDERED ONE OF THE FOLLOWING MIN 7/16" OSB
- RED THERMOPLY
- **BLUE THERMOPLY**

- **GENERAL NOTES**
- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS
- ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
- SHEARWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDSILL THROUGH THE DOUBLE TOP PLATE.
- BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
- MUDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDSILL ANCHORS @ 6'-0" O.C..
- WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE
- ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
- LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURA SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS16 X-BRACING.
- ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL. 9.1.
  - INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°

9.2.

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL

EXTENT OF HEADER (DOUBLE PORTAL FRAME) **FASTEN KING STUD** EXTENT OF HEADER (SINGLE PORTAL FRAME) TYP. PORTAL FRAME PONY WALL IF REQUIRED PER ¥ W W CONSTRUCTION ARCHITECTURAL PLANS FOR PANEL SPLICE MIN. 3"x11.25" NET HEADER (IF NEEDED), PANEL **EDGES SHALL BE** BLOCKED, AND 2' to 18' OCCUR WITHIN FASTEN SHEATHING TO HEADER WITH 8d 24" OF MID-HEIGHT. COMMON OR GALVANIZED BOX NAILS IN ONE ROW OF TYP. 3" GRID PATTERN AS SHOWN. SHEATHING-TO-FRAMING NAILING HEADER TO JACK-STUD STRAP PER TABLE-IS REQ. IF 2x R602.10.6.4 ON BOTH SIDES OF OPENING OPPOSITE **BLOCKING IS** SIDE OF SHEATHING. SEE TABLE FOR SIMPSON USED, THE 2x's STRAP RECOMMENDATIONS or PROVIDE EQUIVALENT. MUST BE NAILED TOGETHER WITH MIN. 7/16" OSB SHEATHING MIN DBL STUDS ON EXTERIOR FACE NAILED (3) 16d SINKERS WITH 8d NAILS @ 3" O.C. ONE STORY: MIN WIDTH=16" FIRST OF TWO STORY: MIN WIDTH = 24" OR MIN WIDTH = 16" WITH FULL STRUCTURAL SHEATHING AT INTERIOR WALL **DIRECTION OF STRENGTH AXIS** PROVIDE SIMPSON HTT5 HOLD DOWNS WITH 5/8" ATR ANCHORS SET WITH **EPOXY AND 6" MIN. EMBEDMENT** OR SIMPSON STHD10 INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

TO HEADER WITH 6 16d SINKER NAILS



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/9/2020

SW-02

PARKS AVENUE

SCALE: 1/8"=1'-0"

01/08/2020

ENG

ITON GENERAL ONTRACTOR

 $\Xi$ 

**PLAT OF SURVEY** 

### N 89° 59'44'.'E 140.49 REE PLAT I2X20 GARAGE BASIS OF BEARINGS NOR TH 50.00 ACR CONC 9 0 0 1/2" IRF S 89° 59'42''W 140.50' Ø 107

SURVEY ACCEPTED BY:

DATE

DATE .

### **DESCRIPTION**

BEING Lot 7, Block D, Forees Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

### NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

### SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 610 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty III, R.P.L.S. No. 5034

POFESS 104

SYMBOL LEGEND POWER POLE TELEVISION CABLE RISER GAS METER ELEC ELECTRIC METER PROPANE TANK

SURVEY DATE OCTOBER 1, 2018 SCALE | " = 30' FILE# 20180297-7 CLIENT WARDELL GF# <u>1884847-10</u>GH

H.D. Fetty Land Surveyor, LLC Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

HAROLD D. FETTY III

5034































February 13, 2020

City of Rockwall Planning & Zoning Department 385 S. Goliad St. Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **610 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts. Please consider our proposal for requesting a zoning application.

Reese Baez

**Triton General Contractor** 

469-931-2267

### CITY OF ROCKWALL

### ORDINANCE NO. 20-XX

### SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBSIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 7, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection* 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.
- **SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

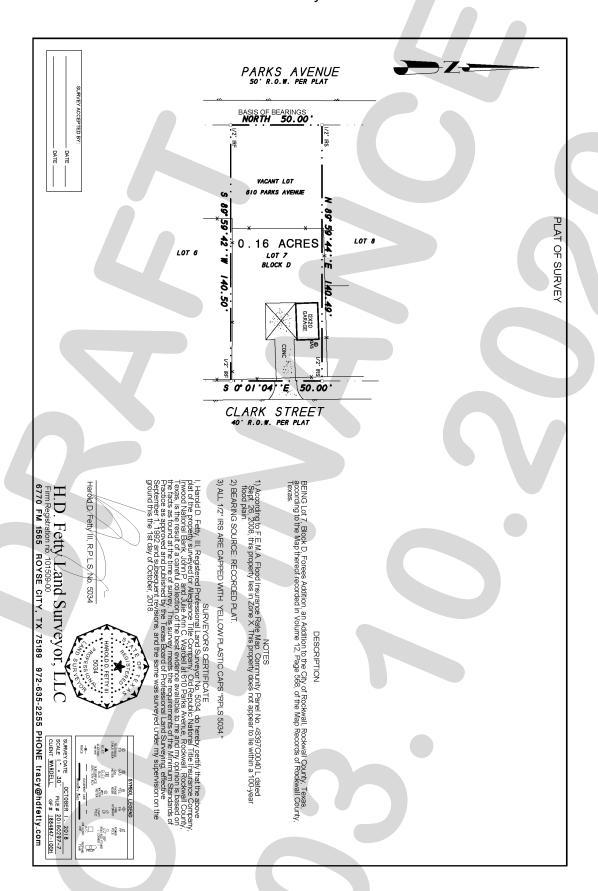
	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	

1<sup>st</sup> Reading: *March* 16, 2020

Frank J. Garza, City Attorney

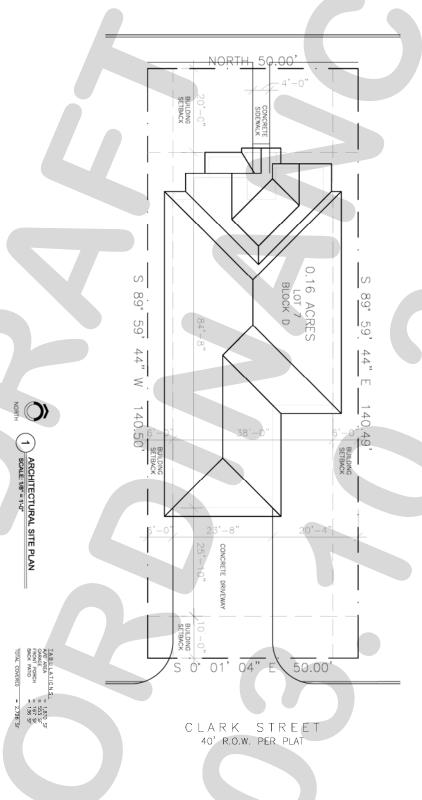
2<sup>nd</sup> Reading: April 6, 2020

### Exhibit 'A': Survey



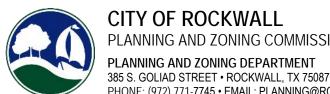
## **Exhibit 'B':**Residential Plot Plan

PARKS AVENUE 50' R.O.W. PER PLAT



**Exhibit 'C':**Building Elevations





### PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: March 10, 2020 APPLICANT: Ambricio Ibarra

CASE NUMBER: **Z2020-004**; Specific Use Permit (SUP) for a Residential Infill for 705 Peters Colony

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is situated within the Southside Residential Neighborhood Overlay (SRO) District. On March 18, 2019, the City Council approved a replat for Lot 1, Block A, N. E. & J. O. Addition subdividing one (1) lot into two (2) lots for the construction of two (2) single-family homes. The subject property is currently vacant.

### **PURPOSE**

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 1 (i.e. 705 Peters Colony) in accordance with Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 04, Permissible Uses, of the Unified Development Code (UDC). This request is being made in conjunction with Case No. Z2020-005, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 2 (i.e. 703 Peters Colony).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 705 Peters Colony. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property is a 703 Peters Colony (i.e. Lot 2, Block A, N. E. & J. O. Addition), which is currently a vacant lot. North of this are three (3) single-family homes followed by E. Boydstun Street, which is designated as a Minor Collector on the Master Thoroughfare Plan. Beyond Boydstun Street there are several businesses (i.e. Hello Gorgeous Salon, Children's Relief International, etc.). These areas are zoned Single-Family 7 (SF-7) District and Planned Development District 42 (PD-42) for Residential-Office (RO) District land uses.

South:

Directly south of the subject property there are several single-family homes followed by E. Ross Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this, there are several single-family homes that are zoned Single-Family 7 (SF-7) District.

East:

Directly east of the subject property is Lamar Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. This street is followed by two (2) single-family homes. Beyond this is Sherman Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan, and beyond this are two (2) single-family homes. All of these areas are zoned Single-Family 7 (SF-7) District.

West:

Directly west of the subject property is Peters Colony, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. This street is followed by several single-family homes. Beyond this, is Davy Crockett Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. All of these areas are zoned Single-Family 7 (SF-7) District.

### CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, Definitions, of the Unified Development Code (UDC) defines Residential Infill in or Adjacent to an Established Subdivision as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, Permissible Uses, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Sanger Addition, which has been in existence since before 1959 and is considered to be more than 90% developed. The Permissible Use Charts contained in Article 04, Permissible Uses, of the UDC, requires a Specific Use Permit (SUP) for Residential Infill in or Adjacent to an Established Subdivision in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)II housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Peters Colony Between Boydstun Street and E. Ross Street	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located in the mid-block face towards Peters Colony and have a front-facing garages. The homes at the north end of Peters Colony which face E. Boydstun Avenue.	The front elevation of the home will face on to Peters Colony Street.
Year Built	1957-2005	N/A
Building SF on Property	823 SF – 1,375 SF	2,450 SF
Building Architecture	Various	Comparable Architecture to the Homes Built in 2005
Building Setbacks:		
Front	20-Feet	20-Feet (House Setback 30-Feet)
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Wood, Masonite, and Cementitious Lap Siding and Brick	100% Brick
Paint and Color	White, Green, Blue, and Tan	Red with White Trim
Roofs	Composite Shingles	Composite Shingle
Driveways	The majority of the homes have front entry garages with two (2) of the homes having carports instead of garages.	Front entry Garage with front façade of the home being recessed 20-feet behind the garage door.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage 20-feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Southside Residential Neighborhood Overlay (SRO) District in the past and that the two (2) properties south of the subject property are configured in the same configuration. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District

as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Peters Colony and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

### **NOTIFICATIONS**

On February 25, 2020, staff notified 121 property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had not received any notices concerning this case.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in *Exhibit* 'C' of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

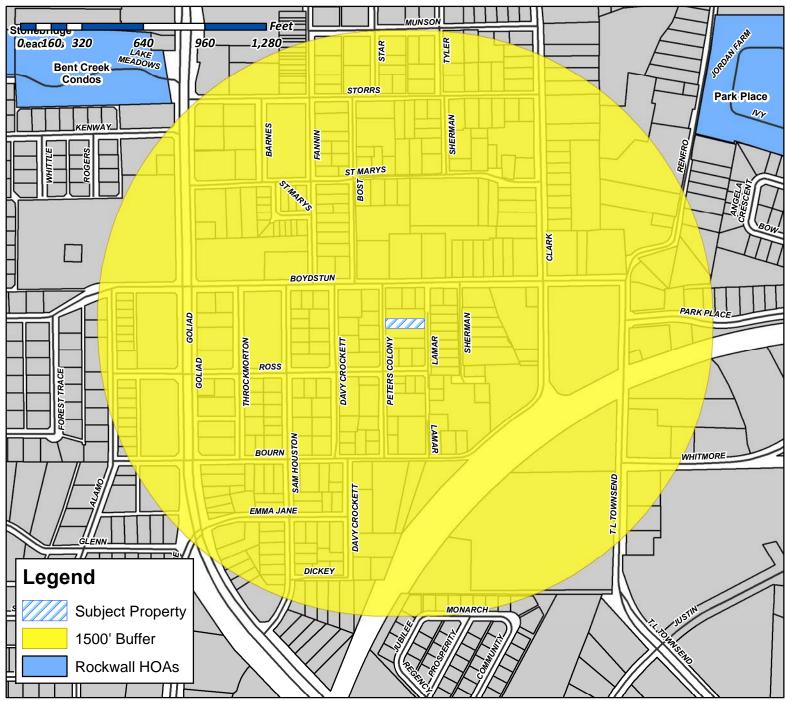




### City of Rockwall

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Case Number: Z2020-004

Case Name: SUP for 705 Peters Colony

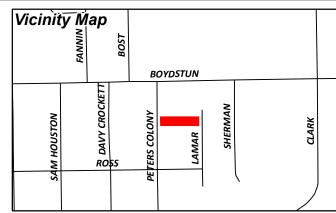
Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 705 Peters Colony

Date Created: 2/19/2020

For Questions on this Case Call (972) 771-7745

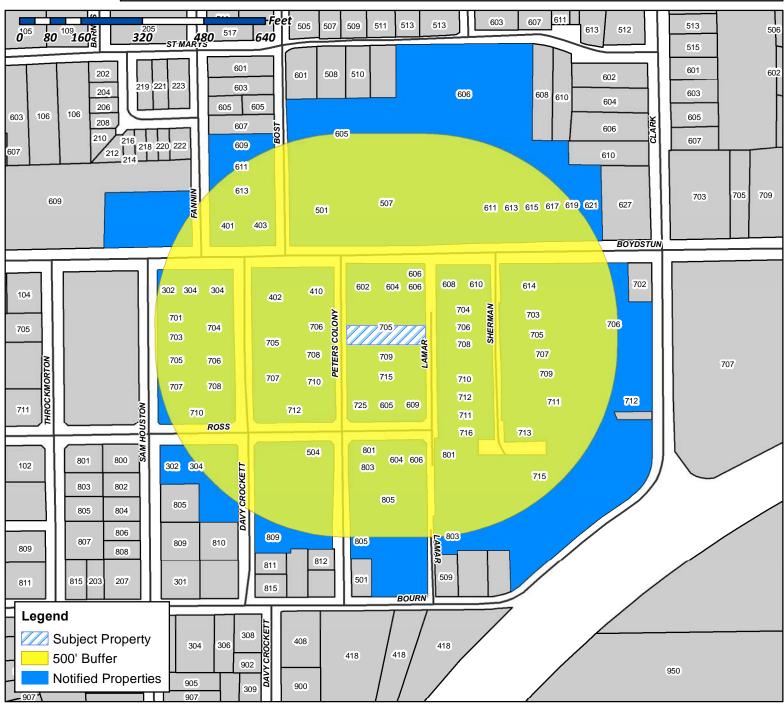




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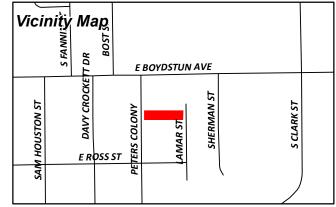
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CITY OF ROCKWALL	SLIGER S T MRS	CITY OF ROCKWALL
, 0	, 0	, 0
CURRENT RESIDENT ROCKWALL, TX 75087	CURRENT RESIDENT 709 N SHERMAN ROCKWALL, TX 75087	CURRENT RESIDENT BOURN ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
CLARK	DAVEY CROCKETT	DAVY CROCKETT
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT DAVY CROCKETT ROCKWALL, TX 75087	CURRENT RESIDENT PETERS COLONY ROCKWALL, TX 75087	CURRENT RESIDENT PETERS COLONY ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
SHERMAN	EBOURN	EBOYDSTUN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087	CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087	WRIGHT ALVIN (MR) MAIL RETURNED BY POST OFFICE
PEREZ MARIA D	GOSSEAUX KEVIN	SRIVEN VISTA LLC
1002 E WOODIN BLVD	1005 SPRINGFIELD LANE	10401 JACKSON HOLE LN
DALLAS, TX 75126	ALLEN, TX 75002	MCKINNEY, TX 75070
JOHNSON PAMELA	SMITH CHARLES ELLIOT	STRANGE EMERSON JR
1310 COLONY DR	1421 COASTAL DR	1521 NOVEL CT
GARLAND, TX 75040	ROCKWALL, TX 75087	GARLAND, TX 75040
PIERATT ALAN & MELODY 1540 MEADOWS CIR ROCKWALL, TX 75087	NASUFI ZIKRI 1885 HILLCROFT DR ROCKWALL, TX 75087	DALLAS-GARLAND & NORTHEASTERN RAILROAD C/O GENESEE & WYOMING RAILROAD 1940 ENCHANTED WAY 201 GRAPEVINE, TX 76051
BALL JUSTIN	LEW AND LIN INVESTING LLC	OSORNIO JEANNIFFER AND
2155 CLUBVIEW DR	2289 CR 643	NOHEMA ESTRADA MACHARIGUE

NEVADA, TX 75173

2307 WHITE ROAD

HEATH, TX 75032

ROCKWALL, TX 75087

HANEY W 2824 MISTY RIDGE ROCKWALL, TX 75032 WILLIAMS FREDDIE R & JO ANN 302 E BOYDSTUN AVE ROCKWALL, TX 75087 VILLALOBOS JOSE MARVIN & JACKELIN IZELA 302 E ROSS ROCKWALL, TX 75087

LANIER FAMILY TRUST ROSA P LANIER TRUSTEE 304 E BOYDSTUN AVE ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA 304 E ROSS AVE ROCKWALL, TX 75087 KATELY CHARLES LEE & THELMA S 309 ANDERSON ST OAKDALE, LA 71463

HAMANN BRENT 315 ROLLING MEADOWS CIR ROCKWALL, TX 75087 RANDOLPH JAMES R JR 3314 ANNA CADE RD ROCKWALL, TX 75087 CURRENT RESIDENT 401EBOYDSTUN ROCKWALL, TX TX

TAYLOR THOMAS M & KAY D 402 E BOYDSTUN AVE ROCKWALL, TX 75087 CURRENT RESIDENT 403EBOYDSTUN ROCKWALL, TX TX JONES MARGARINE ESTATE 410 E BOYDSTUN AVE ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA 414 E. COACHLIGHT TRAIL ROCKWALL, TX 75087 UPPER ROOM TEMPLE HOLYNESS CHURCH 423 WILLOW RIDGE CIRCLE ROCKWALL, TX 75032

GRUBBS JOHN W 501 E BOYDSTUN AVE ROCKWALL, TX 75087

CURRENT RESIDENT 504 ROSS ROCKWALL, TX TX CURRENT RESIDENT 507EBOYDSTUN ROCKWALL, TX TX HEAD TIM 510 MARIPOSA ROCKWALL, TX 75087

JONES ELTON E & LINDA M 512 TERRY LN ROCKWALL, TX 75032 INNER URBAN HOMES INC 519 I30 #110 ROCKWALL, TX 75087 ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA 602 E BOYDSTUN AVE ROCKWALL, TX 75087 ESPINOZA SYLVIA AND JOSEPH FABIAN PEREZ 604 ROSS STREET ROCKWALL, TX 75087

MOORE JAMES L 604 S CLARK ROCKWALL, TX 75087

GENTRY GENEVA 605 BOST ST ROCKWALL, TX 75087 BOUAS MARAYA D & JEFFREY D 605 E ROSS STREET ROCKWALL, TX 75087 GAMEZ DAVID & PETRA 606 E BOYDSTUN AVE ROCKWALL, TX 75087

CURRENT RESIDENT 606 ROSS ROCKWALL, TX TX WILKERSON CLAUDE JR 606 SAINT MARY ST ROCKWALL, TX 75087 CURRENT RESIDENT 608EBOYDSTUN ROCKWALL, TX TX

HUBBARD ALPHINEEZES	CURRENT RESIDENT	SCHUMANN LAURIE A
609 E ROSS ST	609SFANNIN	610 E BOYDSTUN AVE
ROCKWALL, TX 75087	ROCKWALL, TX TX	ROCKWALL, TX 75087
SMITH CHARLES	NONUS SHELLY REYNA AND THOMAS	CURRENT RESIDENT
611 E BOYDSTUN	611 FANNIN STREET	611EBOYDSTUN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX TX
CARPENTER KATHRYN ANN	TANNER TRUDY LEANN	GAMEZ DAVID
613 E BOYDSTUN AVE	613 S FANNIN	614 E BOYDSTUN AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WOOD JORDAN AND ERIN	CURRENT RESIDENT	WOODARD JENNIFER
615 E BOYDSTUN AVENUE	617EBOYDSTUN	619 E BOYDSTUN AVE
ROCKWALL, TX 75032	ROCKWALL, TX TX	ROCKWALL, TX 75087
CURRENT RESIDENT	KAUFMANN DOUGLAS A	CURRENT RESIDENT
621 BOYDSTUNAVE	627 SORITA CIRCLE	701 SAM HOUSTON
ROCKWALL, TX TX	HEATH, TX 75032	ROCKWALL, TX TX
CURRENT RESIDENT	ROSS LESLIE	HEARD OLLIE FAYE
703 SAM HOUSTON	703 SHERMAN ST	704 DAVY CROCKETT ST
ROCKWALL, TX TX	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SCROGGINS MURRAY	CURRENT RESIDENT	STRANGE ANTHONY I SR & LISA D
704 SHERMAN ST	705 DAVY CROCKETT	705 N SHERMAN
ROCKWALL, TX 75087	ROCKWALL, TX TX	ROCKWALL, TX 75087
CURRENT RESIDENT	MILLER ANNE	WILLIAMS SHIRLEY B ETAL
705 PETERS COLONY	705 SAM HOUSTON ST	706 DAVY CROCKETT ST
ROCKWALL, TX TX	ROCKWALL, TX 75087	ROCKWALL, TX 75087
DABNEY AUDRY	CURRENT RESIDENT	CURRENT RESIDENT
706 PETERS COLONY	706 SHERMAN	706SCLARK
ROCKWALL, TX 75087	ROCKWALL, TX TX	ROCKWALL, TX TX
CRENSHAW LORENZA	CURRENT RESIDENT	ABARCA JOANNE
707 DAVY CROCKETT ST	707 SAM HOUSTON	707 SHERMAN ST
ROCKWALL, TX 75087	ROCKWALL, TX TX	ROCKWALL, TX 75087

FISHER JESSICA 803 PETERS COLONY	ST PAUL AFRICAN METHODIST EPISCOPAL CHURCH 805 PETERS COLONY	JOHNSON MELDRIA 809 DAVY CROCKETT
HASS DANIEL & AMBER	CURRENT RESIDENT	SHAW JERRY GAIL
801 PETERS COLONY	801 PETERS COLONY	803 LAMAR ST
ROCKWALL, TX 75087	ROCKWALL, TX TX	ROCKWALL, TX 75087
CURRENT RESIDENT 725 PETERS COLONY ROCKWALL, TX TX	ROCKWALL HOUSING DEV CORP A TEXAS NON-PROFIT CORP OF RW 787 HAIL DR ROCKWALL, TX 75032	MATHIS MALCOLM AND CHRISTIE 801 LAMAR ST ROCKWALL, TX 75087
CABERA JUAN R & NOEMI E	CURRENT RESIDENT	CURRENT RESIDENT
715 PETERS COLONY	715 SHERMAN	716 SHERMAN
ROCKWALL, TX 75087	ROCKWALL, TX TX	ROCKWALL, TX TX
LINVEL MELBA RUTH ESTATE	CURRENT RESIDENT	DENSON PATRICIA STRANGE
712 PETERS COLONY	712 SHERMAN	713 SHERMAN ST
ROCKWALL, TX 75087	ROCKWALL, TX TX	ROCKWALL, TX 75087
ALLEN ETHEL JEAN 711 SHERMAN ST ROCKWALL, TX 75087	CURRENT RESIDENT 712 CLARK ROCKWALL, TX TX	BENNETT A L EST C/O OLIVER LINVELL 712 PETERS COLONY ROCKWALL, TX 75087
CURRENT RESIDENT	SANCHEZ FATIMA L	CURRENT RESIDENT
710 PETERS COLONY	710 SHERMAN ST	711 LAMAR
ROCKWALL, TX TX	ROCKWALL, TX 75087	ROCKWALL, TX TX
HEJI PAUL M	HOLLAND ROBIN	HEARD RHODA MAE
709 PETERS COLONY	709 SHERMAN ST	710 DAVY CROCKETT ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
708 DAVY CROCKETT	708 PETERS COLONY	708 SHERMAN
ROCKWALL, TX TX	ROCKWALL, TX TX	ROCKWALL, TX TX

CANALES ZAMORA FAMILY TRUST ROMAN FRANCISCO CANALES & ROSA MARIA ZAMORA MIRANDA-TRUSTEE P O BOX 291 FATE, TX 75132

ROCKWALL SOUTHSIDE NEIGHBORHOOD COALITION C/O TONY RIOS PO BOX 1262 ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY PO BOX 4 ROCKWALL, TX 75087 SMITH TIMOTHY PSC 3 BOX 5631 APO, AP 96266 To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-004: 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.,** and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Korey Brooks Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning





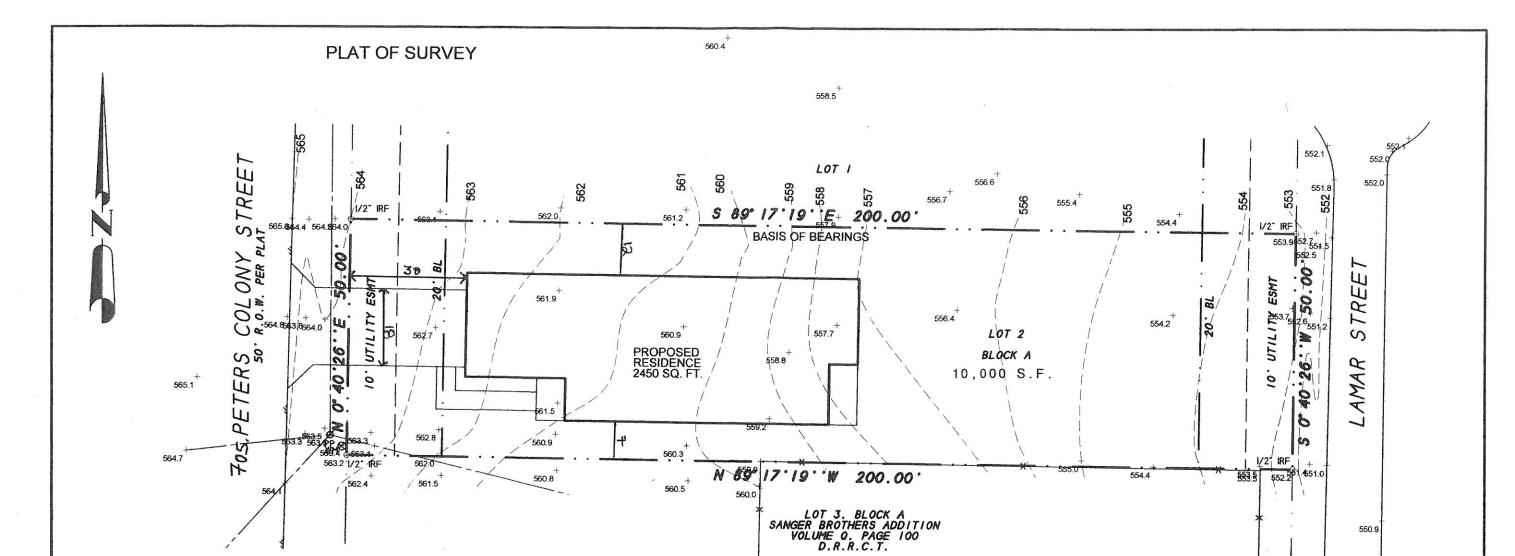
#### MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

PLEASE RETURN THE BELOW FORM
Case No. Z2020-004: 705 Peters Colony
Please place a check mark on the appropriate line below:
I am in favor of the request for the reasons listed below.
I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



#### DESCRIPTION

BEING Lot 2, Block A, of N.E. & J.O. Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Document No. 20190000015067, of the Official Property Records of Rockwall County, Texas.

#### **NOTES**

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

DATE
 DATE

PLATPLAN

#### SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jeaniffer Osomio and Nohema Estrada at Peters Colony Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 14th day of November, 2019.

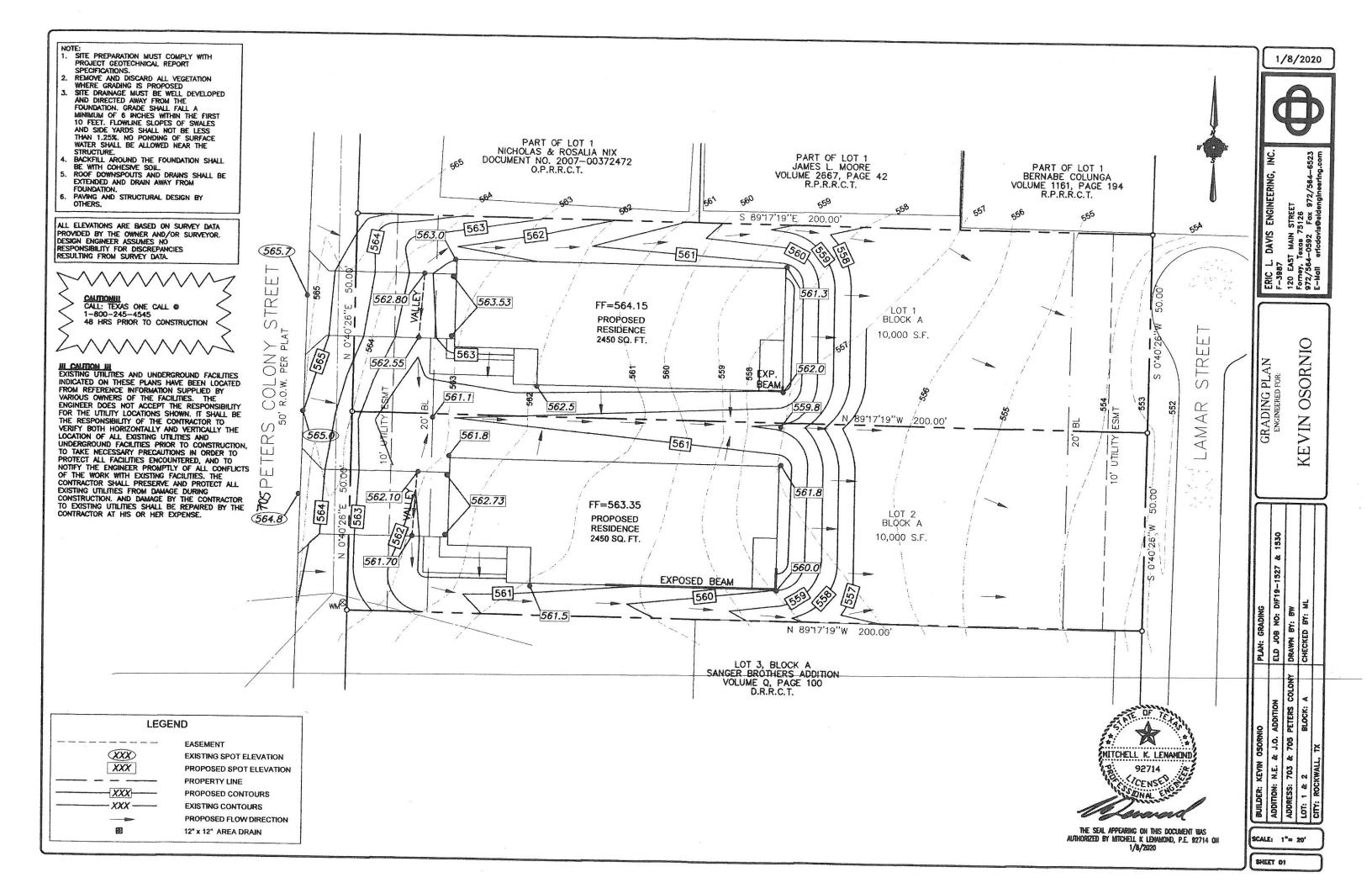
HAROLD D. FETTY III 5034 POFESSION A Harold D. Fetty III, R.P.L.S. No. 5034

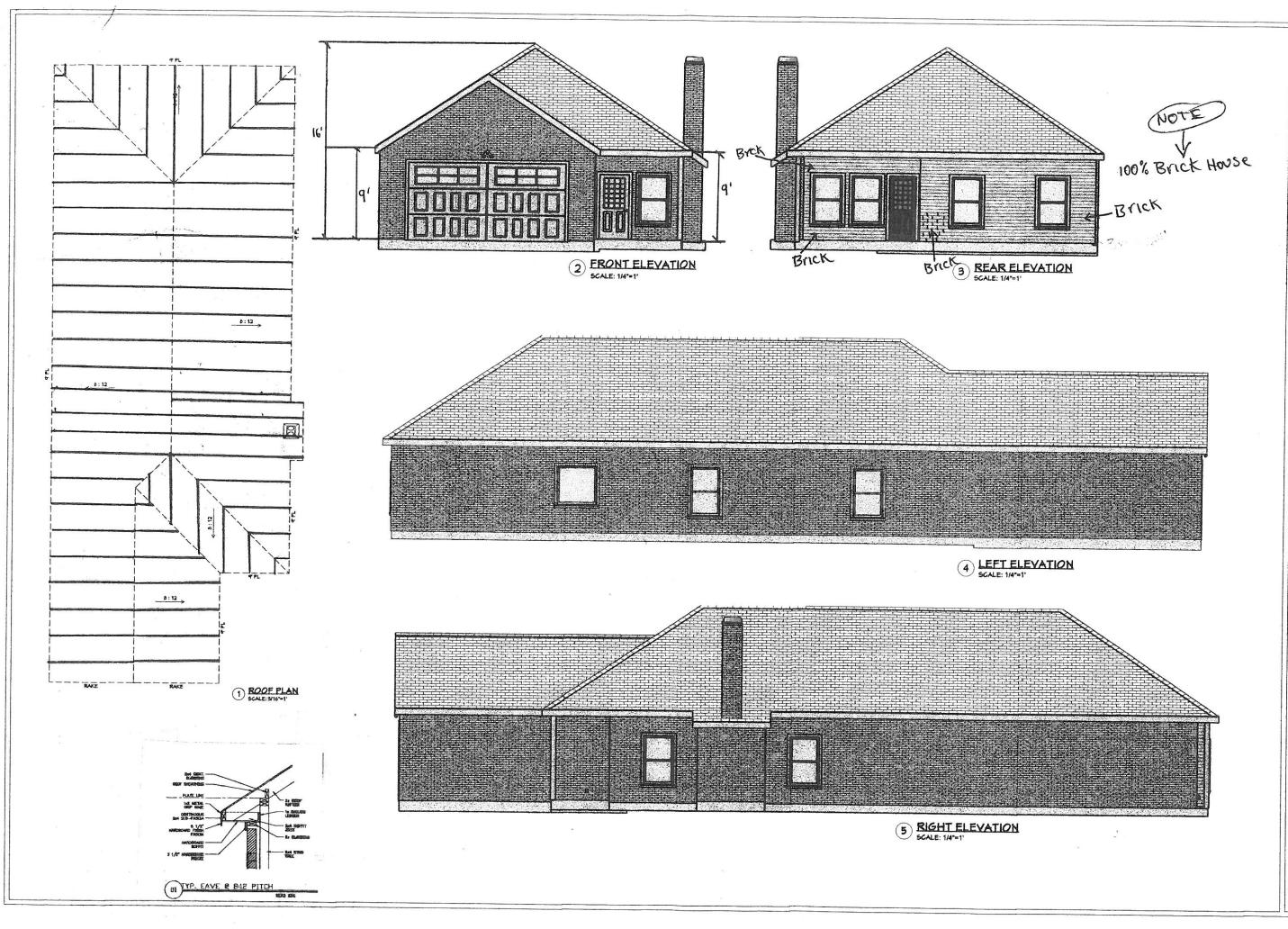
TELEVISION CABLE RISER PHONE POWER ELEC ELECTRIC METER SURVEY DATE NOVEMBER 14. 2019

H.D. Fetty Land Surveyor, LLC Firm Registration no. 10150900

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SCALE 1" - 20' FILE# 20190047-2 CLIENT OSORNIO GF# NONE





705 Peters Colony St

Rockwall Tx

ROOF PLAN / ELEVATIONS TITLE

CADAZIGN

3104 CR 2522
ROYSE CITY, TEXAS 15-176

DATE: 5/7/2019

SCALE: AS SHOWN

SHEET:

A-1



















#### CITY OF ROCKWALL

#### ORDINANCE NO. 20-XX

#### SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE **PERMIT** (SUP) FOR RESIDENTIAL INFILL IN AN **ESTABLISHED** SUBDIVISION TO **ALLOW** THE CONSTRUCTIN OF A SINGLE-FAMILY HOME ON A 0.11-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, SANGER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER **CLAUSE: PROVIDING FOR AN EFFECTIVE DATE.** 

WHEREAS, the City has received a request from Ambrocio Ibarra for the approval of a Specific Use Permit (SUP) to allow *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.11-acre parcel of land being described as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 705 Peters Colony, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Article 4, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 5, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

#### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The Development of the Subject Property shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The Construction of a single-family home on the Subject Property shall generally conform to the <u>Building Elevations</u> depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

#### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, Specific Use Permits (SUP) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

# PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE $6^{\text{TH}}$ DAY OF APRIL, 2020.

	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, <i>City Secretary</i>	
APPROVED AS TO FORM:	

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: *March 16, 2020* 

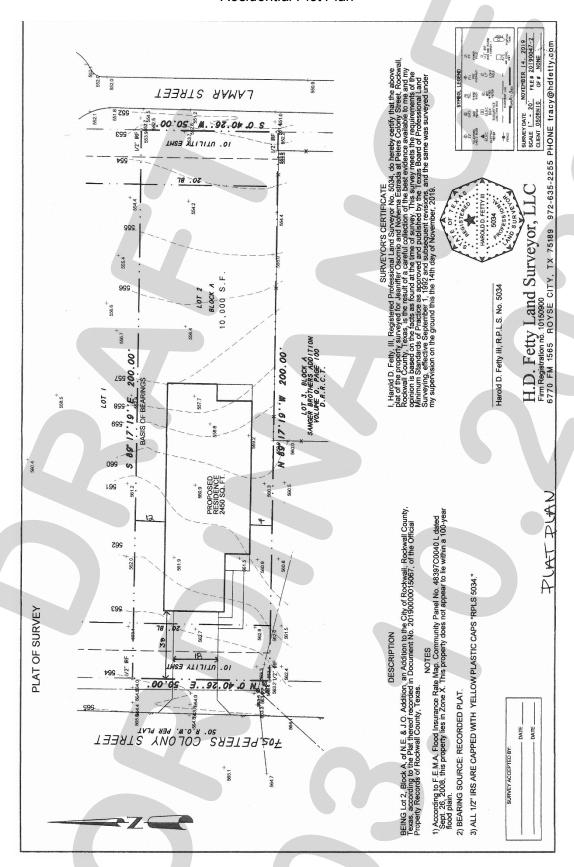
2<sup>nd</sup> Reading: April 6, 2020

Exhibit 'A' Zoning Exhibit

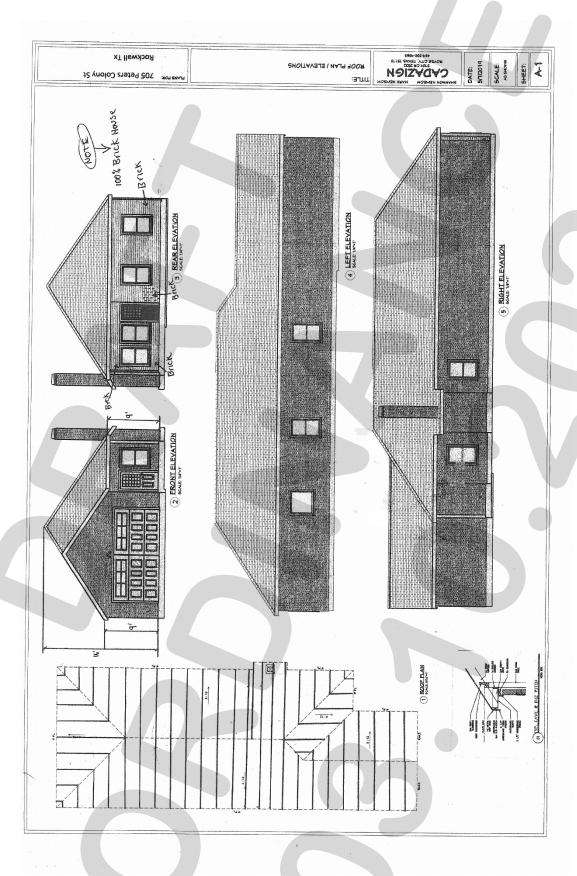
<u>Address:</u> 705 Peters Colony <u>Legal Description:</u> Lot 1, Block A, Sanger Addition

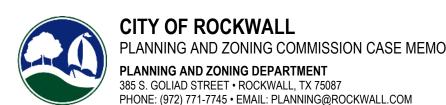


Exhibit 'B':
Residential Plot Plan



# Exhibit 'C': Building Elevations





TO: Planning and Zoning Commission

**DATE:** March 10, 2020 **APPLICANT:** Ambricio Ibarra

CASE NUMBER: Z2020-005; Specific Use Permit (SUP) for a Residential Infill for 703 Peters Colony

#### **SUMMARY**

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony, and take any action necessary.

#### **BACKGROUND**

The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is situated within the Southside Residential Neighborhood Overlay (SRO) District. On March 18, 2019, the City Council approved a replat for Lot 2, Block A, N. E. & J. O. Addition subdividing one (1) lot into two (2) lots for the construction of two (2) single-family homes. The subject property is currently vacant.

#### **PURPOSE**

East:

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 2 (i.e. 703 Peters Colony) in accordance with Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 04, Permissible Uses, of the Unified Development Code (UDC). This request is being made in conjunction with Case No. Z2020-004, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 1 (i.e. 705 Peters Colony).

#### ADJACENT LAND USES AND ACCESS

The subject property is located at 703 Peters Colony. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property there are three (3) single-family homes followed by E. Boydstun Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan. Beyond Boydstun Street there are several businesses (i.e. Hello Gorgeous Salon, Children's Relief International, etc.). These areas are zoned Single-Family 7 (SF-7) District and Planned Development District 42 (PD-42) for Residential-Office (RO) District land uses.

<u>South</u>: Directly south of the subject property there are several single-family homes followed by E. Ross Street, which is identified as a *R2* (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this, there are several single-family homes that are zoned Single-Family 7 (SF-7) District.

Directly east of the subject property is Lamar Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. This street is followed by two (2) single-family homes. Beyond this is Sherman Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan, and beyond this are two (2) single-family homes. All of these areas are zoned Single-Family 7 (SF-7) District.

West:

Directly west of the subject property is Peters Colony, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. This street is followed by several single-family homes. Beyond this, is Davy Crockett Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. All of these areas are zoned Single-Family 7 (SF-7) District.

#### CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Sanger Addition, which has been in existence since before 1959 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Peters Colony Between Boydstun Street and E. Ross Street	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located in the mid-block face towards Peters Colony and have a front-facing garages. The homes at the north end of Peters Colony which face E. Boydstun Avenue.	The front elevation of the home will face on to Peters Colony Street.
Year Built	1957-2005	N/A
Building SF on Property	823 SF – 1,375 SF	2,450 SF
Building Architecture	Various	Comparable Architecture to the Homes Built in 2005
Building Setbacks:		
Front	20-Feet	20-Feet (House Setback 30-Feet)
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Wood, Masonite, and Cementitious Lap Siding and Brick	100% Brick
Paint and Color	White, Green, Blue, and Tan	Red with White Trim
Roofs	Composite Shingles	Composite Shingle
Driveways	The majority of the homes have front entry garages with two (2) of the homes having carports instead of garages.	Front entry Garage with front façade of the home being recessed 20-feet behind the garage door.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage 20-feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Southside Residential Neighborhood Overlay (SRO) District in the past and that the two (2) properties south of the subject property are configured in the same configuration. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-

family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Peters Colony and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

#### **NOTIFICATIONS**

On February 25, 2020, staff notified 121 property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had not received any notices concerning this case.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

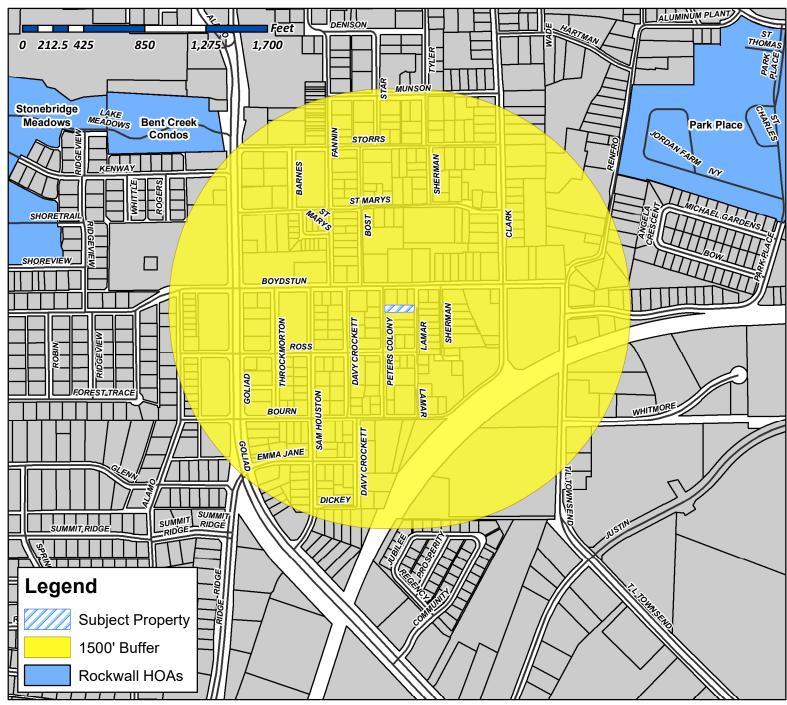




## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-005

Case Name: SUP for 703 Peters Colony

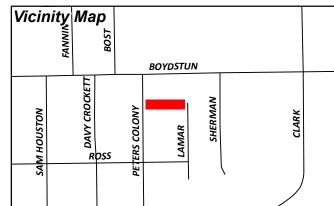
Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 703 Peters Colony

Date Created: 2/19/2020

For Questions on this Case Call (972) 771-7745

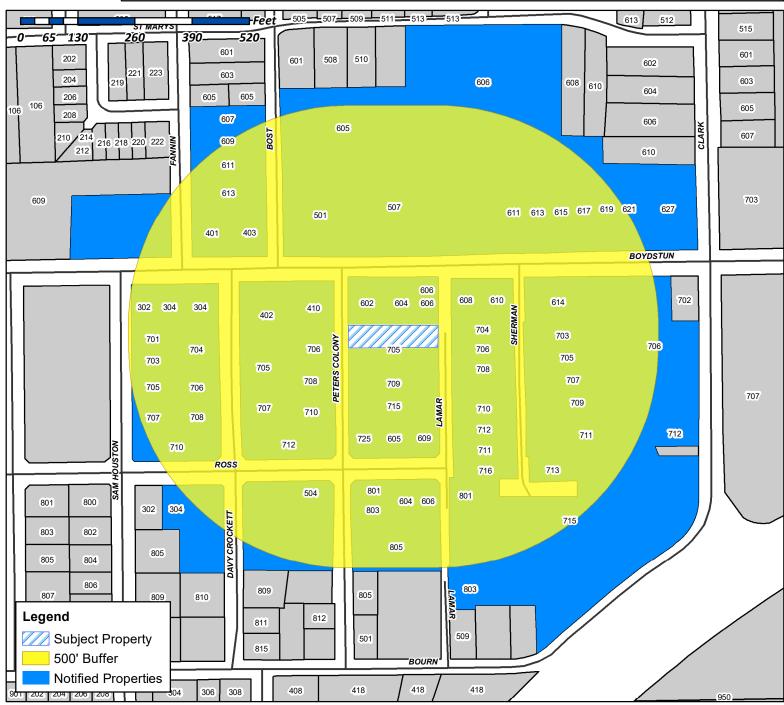




### City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-005

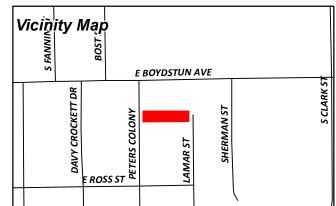
Case Name: SUP for 703 Peters Colony

Case Type: Zoning Zoning: SUP

Case Address: 703 Peters Colony

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT ROCKWALL, TX 75087

### WRIGHT ALVIN (MR) MAIL RETURNED BY POST OFFICE

PEREZ MARIA D 1002 E WOODIN BLVD DALLAS, TX 75126

GOSSEAUX KEVIN 1005 SPRINGFIELD LANE ALLEN, TX 75002 SRIVEN VISTA LLC 10401 JACKSON HOLE LN MCKINNEY, TX 75070 JOHNSON PAMELA 1310 COLONY DR GARLAND, TX 75040

SMITH CHARLES ELLIOT 1421 COASTAL DR ROCKWALL, TX 75087 STRANGE EMERSON JR 1521 NOVEL CT GARLAND, TX 75040 PIERATT ALAN & MELODY 1540 MEADOWS CIR ROCKWALL, TX 75087

NASUFI ZIKRI 1885 HILLCROFT DR ROCKWALL, TX 75087 DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN 2155 CLUBVIEW DR ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC 2289 CR 643 NEVADA, TX 75173 OSORNIO JEANNIFFER AND NOHEMA ESTRADA MACHARIGUE 2307 WHITE ROAD HEATH, TX 75032

HANEY W 2824 MISTY RIDGE ROCKWALL, TX 75032

WILLIAMS FREDDIE R & JO ANN 302 E BOYDSTUN AVE ROCKWALL, TX 75087 LANIER FAMILY TRUST ROSA P LANIER TRUSTEE 304 E BOYDSTUN AVE ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA 304 E ROSS AVE ROCKWALL, TX 75087

KATELY CHARLES LEE & THELMA S 309 ANDERSON ST OAKDALE, LA 71463 HAMANN BRENT 315 ROLLING MEADOWS CIR ROCKWALL, TX 75087 RANDOLPH JAMES R JR 3314 ANNA CADE RD ROCKWALL, TX 75087

CURRENT RESIDENT 401EBOYDSTUN ROCKWALL, TX 75087 TAYLOR THOMAS M & KAY D 402 E BOYDSTUN AVE ROCKWALL, TX 75087 CURRENT RESIDENT 403EBOYDSTUN ROCKWALL, TX 75087

JONES MARGARINE ESTATE 410 E BOYDSTUN AVE ROCKWALL, TX 75087 UPPER ROOM TEMPLE HOLYNESS CHURCH 423 WILLOW RIDGE CIRCLE ROCKWALL, TX 75032

GRUBBS JOHN W 501 E BOYDSTUN AVE ROCKWALL, TX 75087

CURRENT RESIDENT 504ROSS ROCKWALL, TX 75087 CURRENT RESIDENT 507EBOYDSTUN ROCKWALL, TX 75087 HEAD TIM 510 MARIPOSA ROCKWALL, TX 75087

JONES ELTON E & LINDA M 512 TERRY LN ROCKWALL, TX 75032	INNER URBAN HOMES INC 519 I30 #110 ROCKWALL, TX 75087	ALLEN DONNA ANETTE AND JACQUELINE YVETTE JACOBS AND JEFFREY DWAYNE JACOBS 5961 CONNIE LANE ROCKWALL, TX 75032
NIX NICHOLAS & ROSALIA 602 E BOYDSTUN AVE ROCKWALL, TX 75087	ESPINOZA SYLVIA AND JOSEPH FABIAN PEREZ 604 ROSS STREET ROCKWALL, TX 75087	MOORE JAMES L 604 S CLARK ROCKWALL, TX 75087
GENTRY GENEVA	BOUAS MARAYA D & JEFFREY D	GAMEZ DAVID & PETRA
605 BOST ST	605 E ROSS STREET	606 E BOYDSTUN AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WILKERSON CLAUDE JR	CURRENT RESIDENT	CURRENT RESIDENT
606 SAINT MARY ST	606ROSS	607SFANNIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	HUBBARD ALPHINEEZES	CURRENT RESIDENT
608EBOYDSTUN	609 E ROSS ST	609SFANNIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SCHUMANN LAURIE A	SMITH CHARLES	NONUS SHELLY REYNA AND THOMAS
610 E BOYDSTUN AVE	611 E BOYDSTUN	611 FANNIN STREET
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

CURRENT RESIDENT	CARPENTER KATHRYN ANN	TANNER TRUDY LEANN
611EBOYDSTUN	613 E BOYDSTUN AVE	613 S FANNIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

GAMEZ DAVID	WOOD JORDAN AND ERIN	CURRENT RESIDENT
614 E BOYDSTUN AVE	615 E BOYDSTUN AVENUE	617EBOYDSTUN
ROCKWALL, TX 75087	ROCKWALL, TX 75032	ROCKWALL, TX 75087

WOODARD JENNIFER	CURRENT RESIDENT	KAUFMANN DOUGLAS A
619 E BOYDSTUN AVE	621BOYDSTUNAVE	627 SORITA CIRCLE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	HEATH, TX 75032

CURRENT RESIDENT	CURRENT RESIDENT	ROSS LESLIE
627EBOYDSTUN	701SAM HOUSTON	703 SHERMAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

CURRENT RESIDENT	HEARD OLLIE FAYE	SCROGGINS MURRAY
703SAM HOUSTON	704 DAVY CROCKETT ST	704 SHERMAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
STRANGE ANTHONY I SR & LISA D	MILLER ANNE	CURRENT RESIDENT
705 N SHERMAN	705 SAM HOUSTON ST	705DAVY CROCKETT
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	WILLIAMS SHIRLEY B ETAL	DABNEY AUDRY
705PETERS COLONY	706 DAVY CROCKETT ST	706 PETERS COLONY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CRENSHAW LORENZA
706SCLARK	706SHERMAN	707 DAVY CROCKETT ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
ABARCA JOANNE	CURRENT RESIDENT	CURRENT RESIDENT
707 SHERMAN ST	707SAM HOUSTON	708DAVY CROCKETT
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
708PETERS COLONY	708SHERMAN	709 N SHERMAN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
HEJI PAUL M	HOLLAND ROBIN	HEARD RHODA MAE
709 PETERS COLONY	709 SHERMAN ST	710 DAVY CROCKETT ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SANCHEZ FATIMA L	CURRENT RESIDENT	ALLEN ETHEL JEAN
710 SHERMAN ST	710PETERS COLONY	711 SHERMAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT 711LAMAR ROCKWALL, TX 75087	BENNETT A L EST C/O OLIVER LINVELL 712 PETERS COLONY ROCKWALL, TX 75087	LINVEL MELBA RUTH ESTATE 712 PETERS COLONY ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	DENSON PATRICIA STRANGE
712CLARK	712SHERMAN	713 SHERMAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E 715 PETERS COLONY ROCKWALL, TX 75087 CURRENT RESIDENT 715SHERMAN ROCKWALL, TX 75087 CURRENT RESIDENT 716SHERMAN ROCKWALL, TX 75087

CURRENT RESIDENT 725PETERS COLONY ROCKWALL, TX 75087 ROCKWALL HOUSING DEV CORP A TEXAS NON-PROFIT CORP OF RW 787 HAIL DR ROCKWALL, TX 75032

MATHIS MALCOLM AND CHRISTIE 801 LAMAR ST ROCKWALL, TX 75087

HASS DANIEL & AMBER 801 PETERS COLONY ROCKWALL, TX 75087 SHAW JERRY GAIL 803 LAMAR ST ROCKWALL, TX 75087

FISHER JESSICA 803 PETERS COLONY ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST EPISCOPAL CHURCH 805 PETERS COLONY ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC 900 HEATHLAND CROSSING HEATH, TX 75032

CURRENT RESIDENT BOURN ROCKWALL, TX 75087

CURRENT RESIDENT CLARK ROCKWALL, TX 75087 CURRENT RESIDENT DAVEY CROCKETT ROCKWALL, TX 75087 CURRENT RESIDENT DAVY CROCKETT ROCKWALL, TX 75087

CURRENT RESIDENT DAVY CROCKETT ROCKWALL, TX 75087 CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087 CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087

CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087 CANALES ZAMORA FAMILY TRUST ROMAN FRANCISCO CANALES & ROSA MARIA ZAMORA MIRANDA-TRUSTEE P O BOX 291 FATE, TX 75132

CURRENT RESIDENT PETERS COLONY ROCKWALL, TX 75087

ROCKWALL SOUTHSIDE NEIGHBORHOOD COALITION

C/O TONY RIOS PO BOX 1262 ROCKWALL, TX 75087 PEOPLES BILLY W SR PO BOX 35 ROCKWALL, TX 75087 ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

SMITH TIMOTHY PSC 3 BOX 5631 APO, AP 96266

CITY OF ROCKWALL , 0

SLIGER S T MRS , 0

CITY OF ROCKWALL

, 0

November 15, 2019

To whom it may concern:

The foundation plan, accompanied by this letter, for used only upon property described below:

Address:

703 Peters Colony St

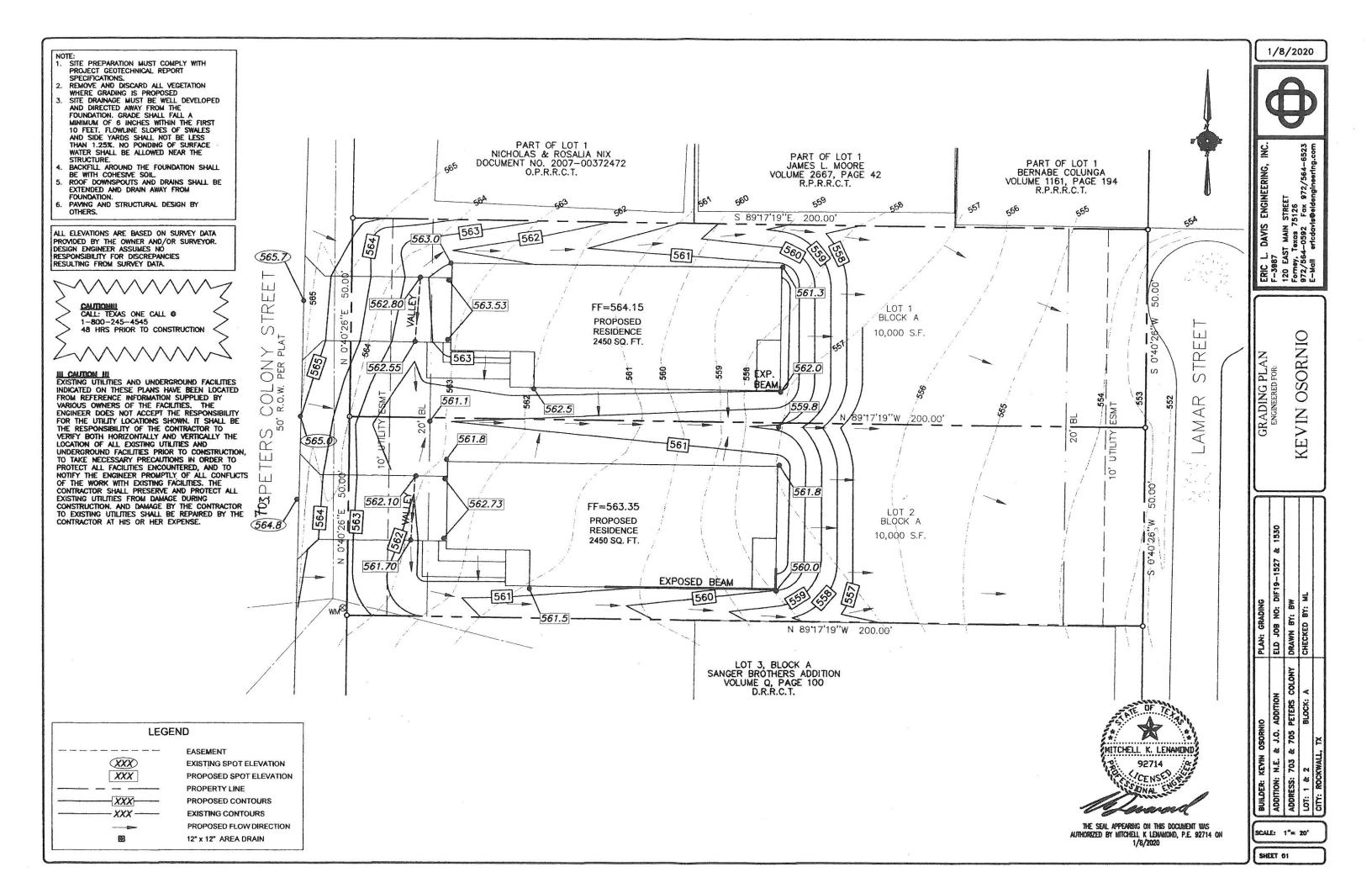
Rockwall Tx

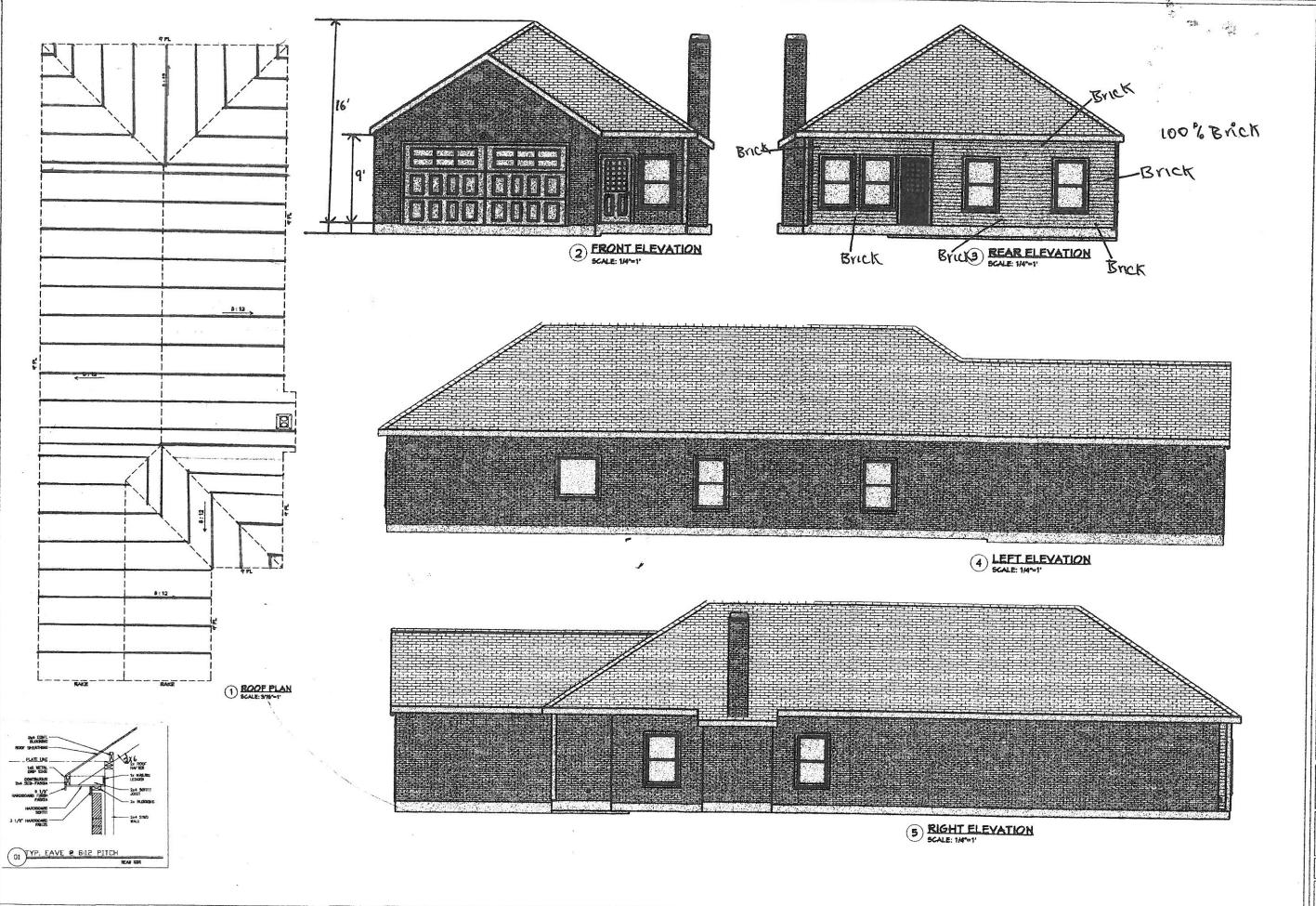
Foundation design criteria was formulated based on modifications of recommendations as set forth in criteria for selection and design of slab-on-ground (BRAB REPORT), WRI-CRSI-96, ACI 318-99, the 2006,2009,2012, and 2015 IRC, 2006, 2009,2012, and 2015 IBC, ACI 318, ASTM C94 and recognized engineering practices.

Sincerely,

J.S Barton, P.E. (F-10832)







703 Peters Colony St

PLAN / ELEVATIONS

CADAZIGN
CADAZIGN
FOXECT TEXA 19119
649-639-689

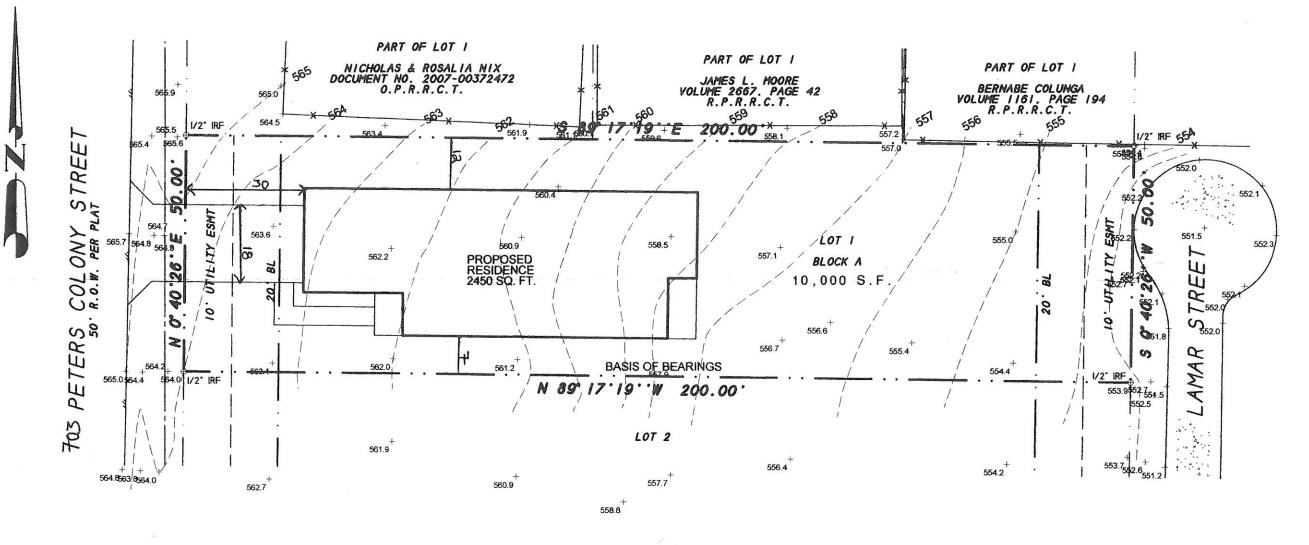
DATE: 5/1/2019

SCALE:

SHEET:

A-1

#### PLAT OF SURVEY



#### DESCRIPTION

BEING Lot 1, Block A, of N.E. & J.O. Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Document No. 20190000015067, of the Official Property Records of Rockwall County, Texas.

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEY ACC	EPTED BY:
	DATE
 · · · · · · · · · · · · · · · · · · ·	DATE

PLATPLAN

### SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jeaniffer Osomio and Nohema Estrada at Peters Colony Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 14th day of November, 2019.



SYMBOL LEGEND POWER TELEVISION PHONE ELECTRIC METER PROPANE

SCALE 1 - 20 FILE# 20190047-1

CLIENT OSORNIO

NOVEMBER 14. 2019

GF# NONE

H.D. Fetty Land Surveyor, LLC Firm Registration no. 10150900

Harold D. Fetty III, R.P.L.S. No. 5034

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



















#### **CITY OF ROCKWALL**

#### ORDINANCE NO. 20-XX

#### SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE **PERMIT** (SUP) FOR RESIDENTIAL INFILL IN AN **ESTABLISHED** SUBDIVISION TO **ALLOW** THE CONSTRUCTIN OF A SINGLE-FAMILY HOME ON A 0.11-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, SANGER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE: PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ambrocio Ibarra for the approval of a Specific Use Permit (SUP) to allow *Residential infill in an Established Subdivision* to allow the construction of a single-family home on a 0.11-acre parcel of land being described as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 703 Peters Colony, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Article 4, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 5, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

#### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The Development of the Subject Property shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The Construction of a single-family home on the Subject Property shall generally conform to the <u>Building Elevations</u> depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

#### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, Specific Use Permits (SUP) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

# PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE $6^{\text{TH}}$ DAY OF APRIL, 2020.

	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: *March 16, 2020* 

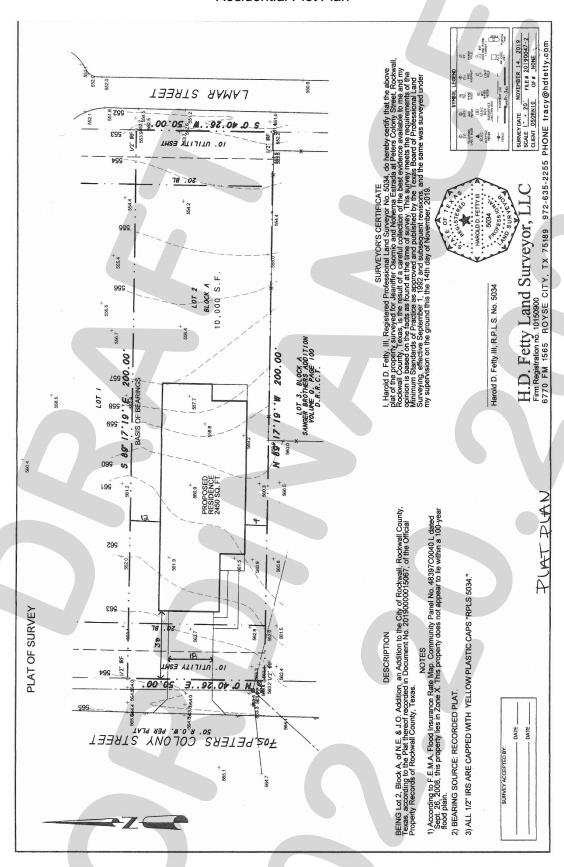
2<sup>nd</sup> Reading: *April 6, 2020* 

Exhibit 'A' Zoning Exhibit

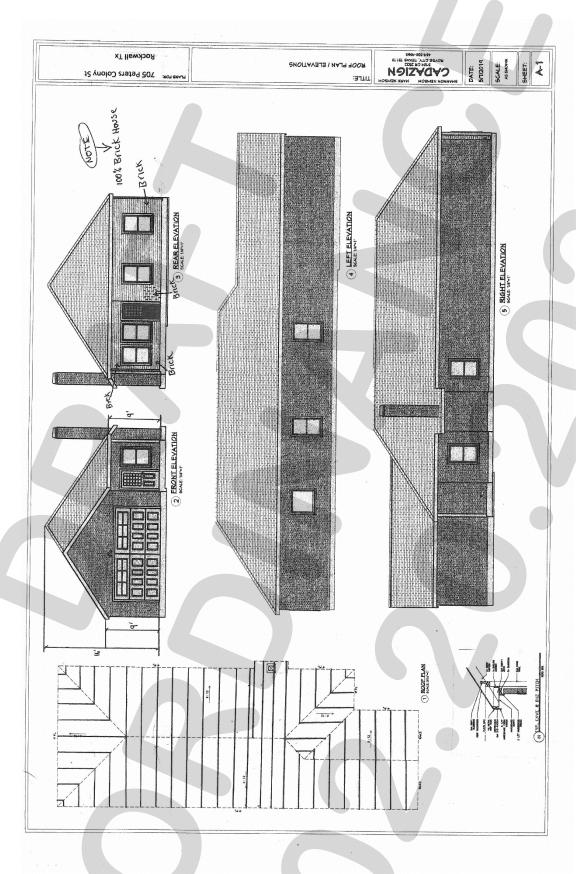
<u>Address:</u> 703 Peters Colony <u>Legal Description:</u> Lot 2, Block A, Sanger Addition



**Exhibit 'B':**Residential Plot Plan



# Exhibit 'C': Building Elevations





# CITY OF ROCKWALL

# PLANNING AND ZONING COMMISSION CASE MEMO

# PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: March 10, 2020
APPLICANT: Greg Givens

CASE NUMBER: Z2020-006; Specific Use Permit for Detached Garage for 2308 Saddlebrook Drive

### **SUMMARY**

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a <u>Specific Use Permit</u> (<u>SUP</u>) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and take any action necessary.

#### **BACKGROUND**

The subject property was annexed in 1999 [Ordinance No. 99-33], is zoned Single-Family 16 (SF-16) District, and is addressed as 2308 Saddlebrook Lane. On November 11, 2001, the City Council approved a change in zoning [Case No. PZ2008-102; Ordinance No. 01-102] from an Agricultural (AG) District to a Single-Family 16 (SF-16) District for the Saddlebrook Estates #2 Addition. On October 21, 2002, the City Council approved a replat [Case No. PZ2002-71-01] for the Saddlebrook Estates #2 Addition.

## **PURPOSE**

The applicant is requesting approval of a Specific Use Permit (SUP) to allow a detached garage that exceeds the maximum allowable size and number of accessory buildings for a property in a Single-Family 16 (SF-16) District.

### ADJACENT LAND USES AND ACCESS

The subject property is located 2308 Saddlebrook Lane. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property there are several single-family homes located within the Saddlebrook Estates #2 Addition, followed by the corporate limits of the City of Rockwall. These homes are zoned Single-Family 16 (SF-16) District. Beyond this is E. Quail Run Road, which is identified as a M4U (*major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Following this, there is a large vacant tract of land zoned Agricultural (AG) District.

South:

Directly south of the subject property, are several single-family homes within the Saddlebrook Estates #2 Addition, which are zoned Single-Family 16 (SF-16) District, followed by the corporate limits of the City of Rockwall. Beyond this is FM-1141, which is identified as a M4D (*major collector, four* [4] lane, divided roadway) on the City's Master Thoroughfare Plan.

East:

Directly east of the subject property there are several single-family homes within the Saddlebrook Estates #2 Addition, which are zoned Single-Family 16 (SF-16) District. Beyond this is FM-1141, which is identified as a M4D (major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan and delineates the corporate limits of the City of Rockwall.

West:

Directly west of the subject property are several single-family homes within the Saddlebrook Estates #2 Addition, which are zoned Single-Family 16 (SF-16) District. Beyond this are several single-family homes zoned Agricultural (AG) District followed by John King Boulevard, which is identified as a P6D (*principle arterial*, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan.

#### CHARACTERISTICS OF THE REQUEST

The applicant is requesting approval of a Specific Use Permit (SUP) for a detached garage that exceeds the maximum allowable size for properties located within a Single-Family 16 (SF-16) District. Currently situated on the subject property, there is a 3,400 SF brick single-family home and two (2) metal accessory buildings that are both approximately 200 SF each. The proposed building will be situated behind the main structure, will be 18-feet in height, and will be constructed of metal. The building will be a 24' x 40' (i.e. 1200 SF) detached garage and a 10' x 40' (i.e. 400 SF) porch that will be on the side of the building. The total footprint of the building will be 1,600 SF (i.e. 35% of the size of the home). The building will have one (1) roll-up door and two windows, and the applicant has stated that detached garage will be utilized to store vehicles (i.e. will not be used for commercial uses). Currently, there are two (2) metal accessory buildings on the subject property and the applicant has indicated that the intent is to remove one (1) of the buildings.

#### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), in a Single-Family 16 (SF-16) District a detached garage is permitted by-right provided that it is no larger than 625 SF. A detached garage shall include a minimum of one (1) garage bay door large enough to accommodate a standard size motor vehicle, and shall be architecturally compatible with the primary structure. In addition, this section of the UDC limits the total number of accessory structures permitted in a Single-Family 16 (SF-16) District to two (2). In this case, the proposed detached garage will be 1,600 SF -- which exceeds the maximum allowable size of a detached garage by 975 SF -- and if approved will be the third accessory structure permitted on the property. The proposed detached garage will incorporate a roll-up door that appears to be large enough to accommodate a standard passenger vehicle; however, the proposed building will be constructed out of metal as opposed to utilizing similar or complimentary materials as the primary structure. In this case, the Planning and Zoning Commission and City Council are tasked with determining if the proposed building will be architecturally compatible with the primary structure, and if the size of the detached garage is appropriate on the subject property. Another consideration will be the proposed number of accessory structures compared to what has been constructed on other properties in the subdivision.

#### STAFF ANALYSIS

When looking at the applicant's request, it was observed that a large majority of property owners (i.e. 26 of the 44 homes or roughly 60%) currently have a detached garages and/or accessory buildings on their properties. Of the existing accessory buildings within the Saddlebrook Estates #2 Addition, several are roughly the same size or larger than (i.e. 900-1,300 SF) the proposed detached garage. It should be noted that most of the accessory buildings that are visible from the street utilize exterior materials similar to the main structure (i.e. a combination of brick and cementitious lap siding). Staff was able to determine that 30 building permits have been issued for accessory buildings within the Saddlebrook Estates #2 Addition and 27 of the permits are still active (i.e. not expired, voided, or withdrawn). A vast majority of the permits were issued between 2002 (i.e. shortly after this area was annexed) and 2009. Given that a majority of the surrounding homes have a detached garage, an accessory building, and/or a portable building approval of this request does not appear to negatively impact the subject property or surrounding properties. With that being said, when looking at this request the Planning and Zoning Commission should consider the number of existing buildings on the property along with the size and architecture of the proposed detached garage. Specifically, the proposed accessory building will be nearly ½ the size (i.e. 47%) of the existing home on the subject property and the Planning and Zoning Commission could request that the applicant provide compensatory measures such as additional architectural elements, providing masonry matching the main structure, or additional landscaping. Staff should also point out that a similar request in terms of size and material was made by the property owner at 2340 Saddlebrook Lane (Case No. Z2019-022) that was denied under the same rules. With all of this being said, approval of a Specific Use Permit (SUP) is a discretionary decision on a case-by-case basis for the City Council, pending a recommendation from the Planning and Zoning Commission.

### **NOTIFICATIONS**

On February 24, 2020, staff mailed 21 notices to owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOA's)/Neighborhood Associations within 1,500 of the subject property that are participating in the Neighborhood Notification Program. At the time this report was written, staff had received one (1) notice and one (1) email in opposition to this request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The detached garage shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B'* & 'C' of the attached ordinance.
  - (b) The detached garage shall not exceed a maximum size of 1,600 SF.
  - (c) The detached garage shall not exceed an overall height of 18-feet.
  - (d) The subject property shall not have more than two (2) accessory buildings.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





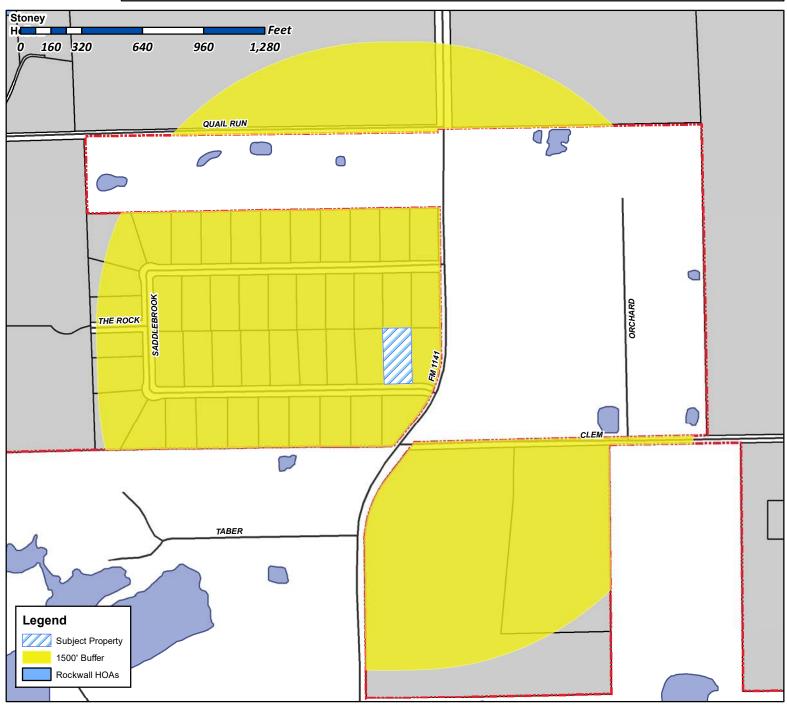
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-006

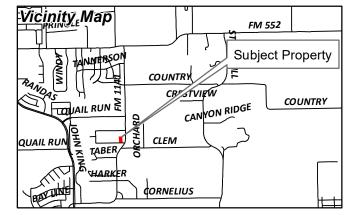
Case Name: 2308 Saddlebrook Lane Case Type: Specific Use Permit

Zoning: SF-10

Case Address: 2308 Saddlebrook Lane

**Date Created: 2/19/2020** 

For Questions on this Case Call (972) 771-7745





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-006

Case Name: SUP for 2308 Saddlebrook Lane

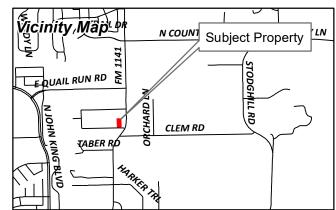
Case Type: Specific Use Permit

Zoning: SF-16

Case Address: 2308 Saddlebrook Lane

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745



DUNCAN BRYAN AND BEVERLY	DIETRICH SHELLEY L & DAROLD T	ARENAS SEVERIANO & KRISTI L
2389 SADDLEBROOK LN	2393 SADDLEBROOK LN	2377 SADDLEBROOK LN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WHISENHUNT BARRY I & JOYCE D 2381 SADDLEBROOK LN ROCKWALL, TX 75087	ROMERO MARGARET ALLEN- 2313 SADDLEBROOK LANE ROCKWALL, TX 75087	SMITH WILLIAM CLEVE JR & EDITH LILLIAN 2312 SADDLEBROOK LN ROCKWALL, TX 75087
NOTEWISE INVESTMENTS LLC	TAYLOR BRANDON G & AMANDA H	JONES JAMES E
3615 BROADWAY BLVD SUITE B	2320 SADDLEBROOK LN	2309 SADDLEBROOK LN
GARLAND, TX 75043	ROCKWALL, TX 75087	ROCKWALL, TX 75087
DEFEBAUGH WALTER W & DAWN A	GRAY RYAN D AND MARISA C	OSBORNE AARON & BARBARA
2380 SADDLEBROOK LN	2384 SADDLEBROOK LN	2305 SADDLEBROOK LANE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BARON JEFFREY MICHAEL & JEANNE MARIE	PUTCHINSKI PAUL & SHANNON	CALLICOATT GEORGE & JUDY
2324 SADDLEBROK LANE	2385 SADDLEBROOK LANE	2388 SADDLEBROOK LN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
THORMAHLEN KARL M SR & ETUX	MINNICH SHAWN C & WENDY A	CULP TERRI L
2392 SADDLEBROOK LN	2396 SADDLEBROOK LN	2301 SADDLEBROOK LN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
FLEMING DONALD CHARLES LIV TR	MURPHEY HARVEY W & BETTY J	VASUNDHARA REDDY K AND
DONALD CHARLES FLEMING TRUSTEE	2304 SADDLEBROOK LN	ALEX R FREEMAN
2397 SADDLEBROOK LN	ROCKWALL. TX 75087	100 N CENTRAL EXPWY SUITE 1008

ROCKWALL, TX 75087

RICHARDSON, TX 75080

ROCKWALL, TX 75087

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Case No. Z2020-006: 2308 Saddlebrook Lane

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.,** and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**Director of Planning & Zoning





#### MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -
Case No. Z2020-006: 2308 Saddlebrook Lane
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-006

Case Name: SUP for 2308 Saddlebrook Lane

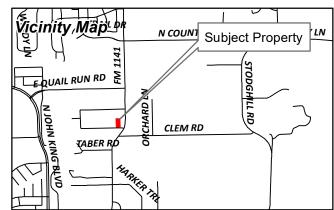
Case Type: Specific Use Permit

Zoning: SF-16

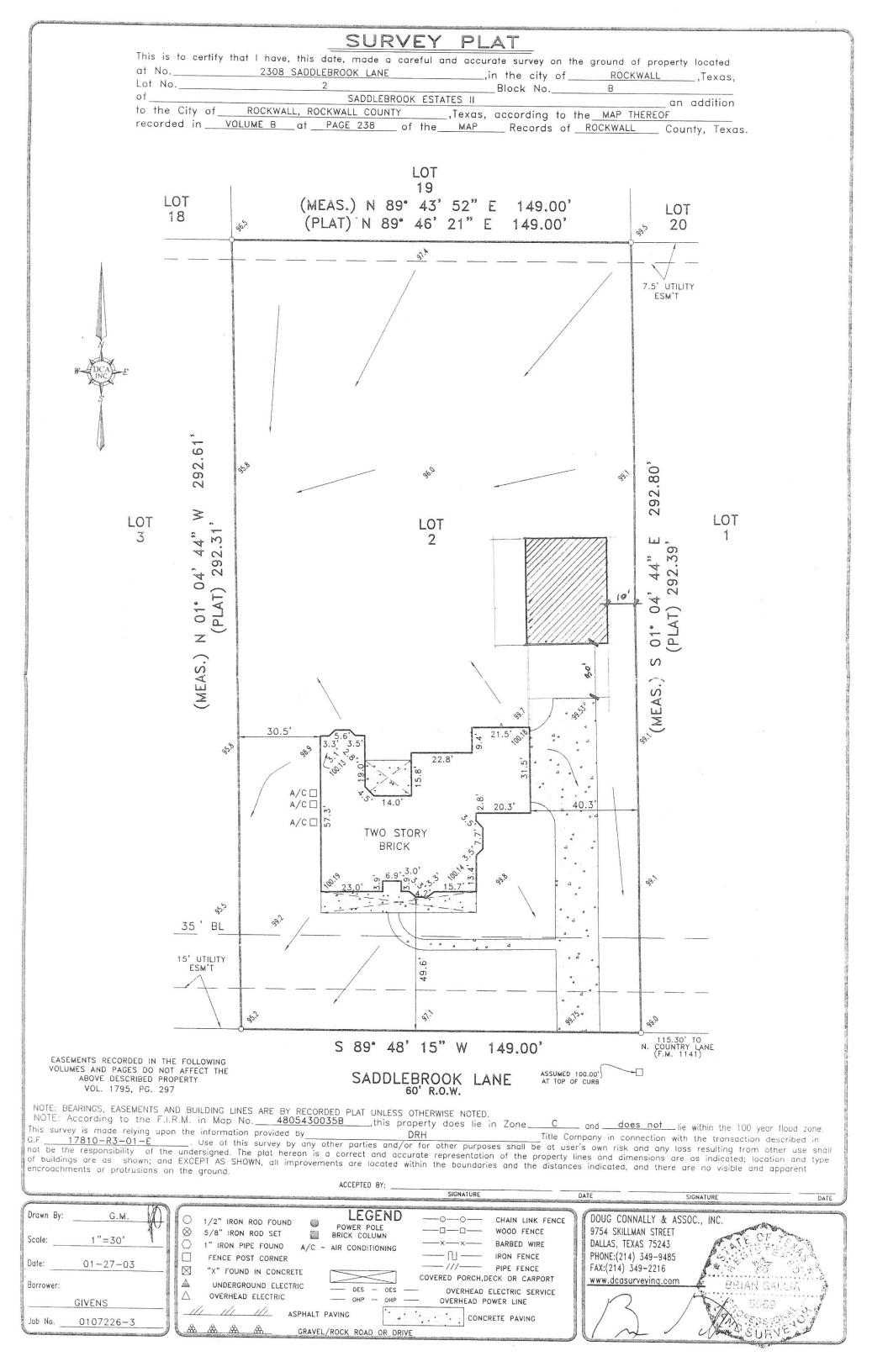
Case Address: 2308 Saddlebrook Lane

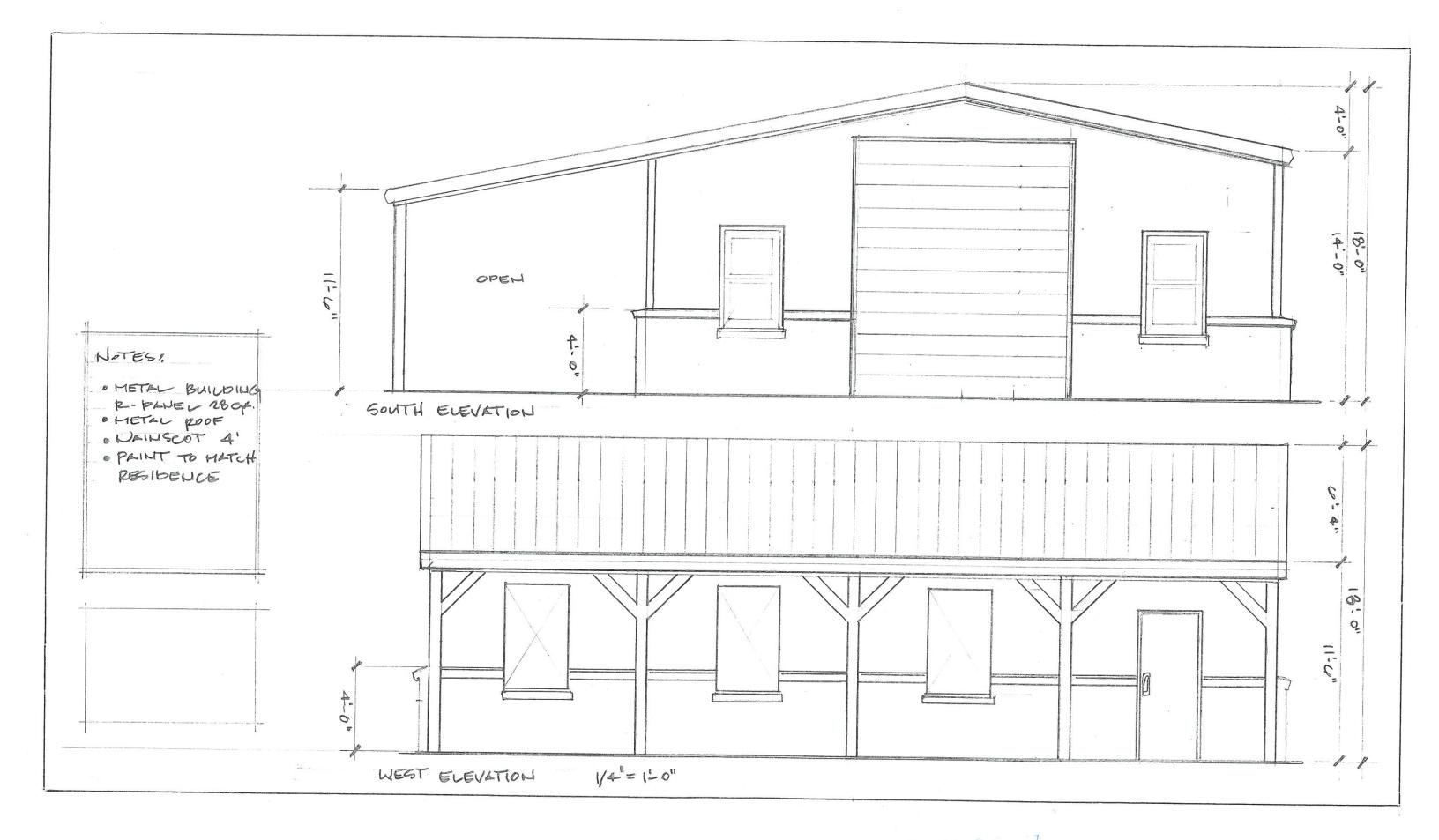
**Date Created:** 2/19/2020

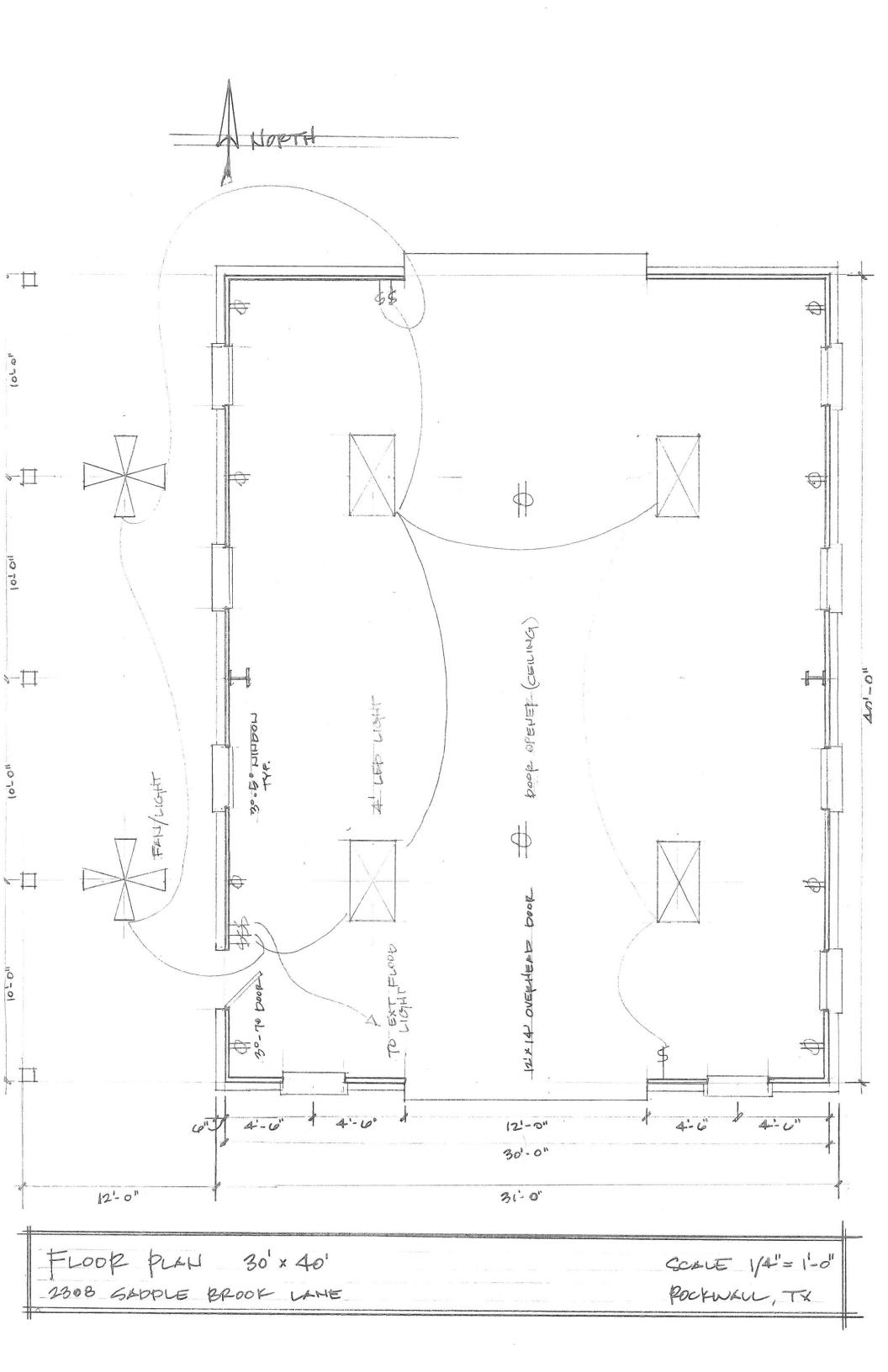
For Questions on this Case Call (972) 771-7745



From:	Greg & Jennifer Givens
Sent:	Friday, February 14, 2020 12:16 PM
То:	Brooks, Korey
Subject:	Detached garage
Rockwall. I am also employ with Rusty and you about be	rey, My name is Greg Givens I live at 2308 Saddlebrook Lane within the City of yed by the Rockwall Fire Department email <a href="mailto:ggivens@rockwall.com">ggivens@rockwall.com</a> . I spoke building a detached garage on my property, oversized 30x40 1,200 sq. feet and submitting my pre-application today to begin the process.
I wanted to give you some	information regarding the materials I plan to use on the project.
10 inch I beams	
8 inch I beams	
Broke eve strut 11 gauge	
8 inch purling 14 gauge	
8 inch C purling	
All exterior walls, roof and	trim 26 gauge R panel with 30 year paint warranty.
1 inch closed cell spray on	installation.
The building will be sitting	on a concrete foundation with a concrete driveway leading up to the building.
The building will also be sit	tting behind a 6 foot wooden fence with a sliding gate.
If any further information is	needed please contact me either by phone ,text or email.
I also have dropped off the	following:
Conceptual drawing	
Site Plan	
Wiring and lighting drawing	
Thank you in advance for t	the Cities time and the Planning and zonings time to consider my project.
Thanks,	
Greg Givens	







#### **CITY OF ROCKWALL**

# **ORDINANCE NO. 20-XX**

# SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A DETACHED GARAGE THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE AND HEIGHT ON A ONE (1) ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK B, SADDLEBROOK ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE: PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Greg Givens for the approval of a Specific Use Permit (SUP) to allow a *detached garage* that exceeds the maximum allowable size and height on a one (1) acre parcel of land being described as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a detached garage as stipulated by Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and the following conditions:

#### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *detached garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- 1) The detached garage shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B'* & 'C' of this ordinance.
- 2) The detached garage shall not exceed a maximum size of 1,200 SF.
- 3) The detached garage shall not exceed an overall height of 18-feet.
- 4) The subject property shall not have more than four (4) accessory buildings.

#### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, Specific Use Permits (SUP), of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) will require compliance to the following:

1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

J	im Pruitt, Ma	ayor	

# ATTEST:

Kristy Cole, City Secretary

# **APPROVED AS TO FORM:**

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: *March 16, 2020* 

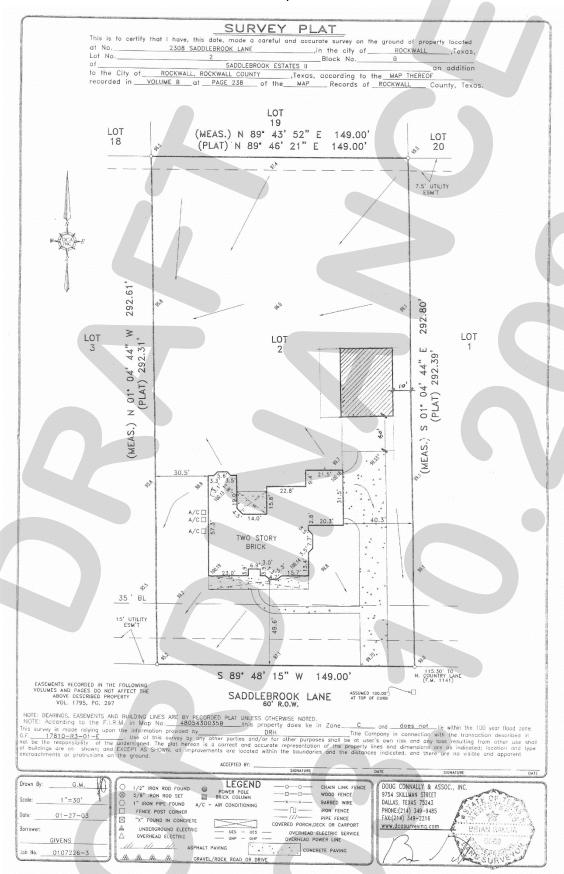
2<sup>nd</sup> Reading: April 6, 2020

Exhibit 'A' Zoning Exhibit

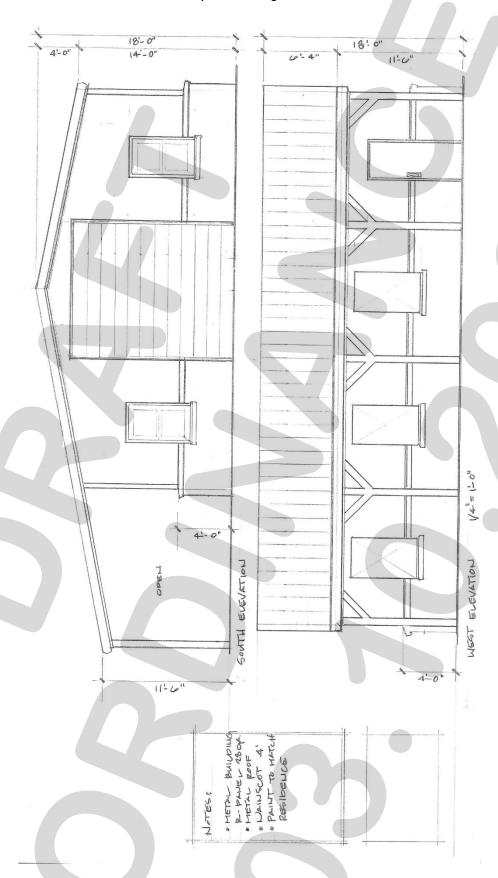
<u>Address:</u> 2308 Saddlebrook Lane <u>Legal Description:</u> Lot 2, Block B, Saddlebrook Estates #2 Addition



# Exhibit 'B': Concept Plan



**Exhibit 'C':** Conceptual Building Elevations





# CITY OF ROCKWALL

# PLANNING AND ZONING COMMISSION MEMORANDUM

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, Director of Planning and Zoning

**DATE**: March 10, 2020

SUBJECT: Z2020-007; Amendment to the Fence Standards for Existing and Infill Single-Family and

Duplex Properties Contained in Article 08, Landscape and Fence Standards, of the UDC

On January 21, 2020, the City Council held a work session to discuss the fence standards. At this work session the City Council directed staff to make the following changes to Section 08.03(B), Fence Standards for Existing and Infill Single-Family and Duplex Properties, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC):

- (1) Remove the language requiring fences be constructed with a decorative top rail and/or cap.
- (2) Remove the language requiring fences be stained and sealed on both sides of the fence.
- (3) Change the standards to allow the framing to be placed on the public side when adjacent to an alleyway.
- (4) Remove the language requiring fences be free of burs and splinters.
- (5) Remove the language requiring fences be constructed with ½-inch or greater fencing material.

Based on this direction staff is proposing to change this section of the ordinance to read:

# Removed Language Addition Language

All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side and all posts and/or framing shall be placed on the private side when adjacent to a public street (*excluding alleyway*), open space, public park, and/or neighboring properties. (i.e. facing streets, alleys, open space, parks, and/or neighboring properties). All posts and/or framing shall be placed on the private side (i.e. facing towards the home) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.

In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the UDC staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. Attached to this case memo is a draft ordinance outlining the proposed changes. The schedule for this text amendment is as follows:

Planning and Zoning Commission Public Hearing: March 10, 2020 City Council Public Hearing/1st Reading: March 16, 2020 City Council 2nd Reading: April 6, 2020

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the UDC. Should the Planning and Zoning Commission have any questions staff will be available at the meeting on *March 10, 2020*.

#### CITY OF ROCKWALL

#### ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 08.03(B), FENCE STANDARDS FOR EXISTING AND INFILL SINGLE-FAMILY AND DUPLEX PROPERTIES, OF ARTICLE 08, LANDSCAPE AND FENCE STANDARDS, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [Ordinance No. 20-02] has been initiated by the City Council of the City of Rockwall to amend Section 08.03(b), Fence Standards for Existing and Infill Single-Family and Duplex Properties, of Article 08, Landscape and Fence Standards, of the Unified Development Code [Ordinance No. 20-02]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That Section 08.03(b), Fence Standards for Existing and Infill Single-Family and Duplex Properties, of Article 08, Landscape and Fence Standards, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in Exhibit 'A' of this ordinance;

**SECTION 2.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 3.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 4.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE  $6^{TH}$  DAY OF APRIL, 2019.

	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	

# APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: March 16, 2020

2<sup>nd</sup> Reading: April 6, 2020

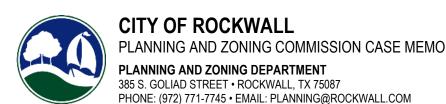
#### Exhibit 'A'

Section 08.03(B), Fence Standards for Existing and Infill Single-Family and Duplex Properties, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC)

Additions: Highlighted

Deletions: Highlighted, Strikeout

All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side and all posts and/or framing shall be placed on the private side when adjacent to a public street (*excluding alleyway*), open space, public park, and/or neighboring properties. (i.e. facing streets, alleys, open space, parks, and/or neighboring properties). All posts and/or framing shall be placed on the private side (i.e. facing towards the home) of the fence. All wood fences shall be smooth-finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.



**TO:** Planning and Zoning Commission

**DATE:** March 10, 2020

**APPLICANT:** Scott Mommer; Lars Andersen & Associates, Inc.

**CASE NUMBER:** Z2020-008; Specific Use Permit (SUP) for the Rental, Sales, and Service of Heavy Machinery

and Equipment

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales and Service of Heavy Machinery and Equipment* in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.

# **BACKGROUND**

The subject property was annexed in 1960 [Ordinance No. 60-03], is zoned Commercial (C) District, and is situated within the IH-30 Overlay (IH-30 OV) District. On July 21, 1997, the City Council approved a preliminary plat [Case No. PP1997-042] for the subject property. On August 18, 1997, the City Council approved a site plan [Case No. PZ1997-051-01 & PZ1997-051-02] and a final plat for a home improvement store (i.e. Home Depot) on the subject property. In September 2019, the applicant submitted a request for approval of a site plan to allow the expansion of the existing building. At that time, the applicant was proposing to utilize the expansion as a tool rental facility (i.e. rental of power drills, saws, and sanders). In addition, the applicant proposed to utilize a portion of the parking lot for the Rental, Sales, and Service of Heavy Machinery and Equipment, which at that time was not permitted in the Commercial (C) District. In response to this, the applicant requested that the City Council amend the Article 04, Permissible Uses, of the Unified Development Code (UDC) to allow the Rental, Sales, and Service of Heavy Machinery and Equipment in a Commercial (C) District, and on November 4, 2019 the City Council directed staff to make changes to the UDC to allow the land use by Specific Use Permit (SUP) in a Commercial (C) District. On January 6, 2010, the City Council approved Ordinance No. 19-46 making the changes. On January 23, 2020, an administrative site plan to allow the expansion of the existing home improvement store was approved.

#### **PURPOSE**

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the *Rental*, *Sales*, *and Service of Heavy Machinery and Equipment* in conjunction with an existing home improvement store (*i.e. Home* Depot) on the subject property.

#### ADJACENT LAND USES AND ACCESS

The subject property is located 765 E. IH-30. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property is IH-30, which is identified as a *TXDOT6D* (*Texas Department of Transportation, six* [6] lane, divided roadway) on the City's Master Thoroughfare Plan. Beyond this, there are several commercial businesses (i.e. Wal-Mart Supercenter, Starbucks, etc.). Following this, is Yellow Jacket Lane, which is identified as a M4D (major collector, four [4] lane divided roadway) on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District.

CITY OF ROCKWALL

<u>South</u>: Directly south of the subject property there is a financial institution (*i.e. Home Bank*) and a minor auto repair garage (*i.e. Christian Brothers Automotive*). Following this is W. Ralph Hall Parkway, which is identified as a *M4D (major collector, four [4] lane, divided roadway)* on the City's Master Thoroughfare plan. Beyond this, there is a single-family residential subdivision (*i.e. Lynden Park Estates, Phase 1A Subdivision*) followed by Market Center Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District and Planned Development District 17 (PD-17) for single-family detached land uses.

East: Directly east of the subject property, there is a veterinary clinic (i.e. Lakeside Veterinary Clinic), a shopping center (i.e. Rockwall Market Center East), and an educational institution (i.e. Amanda Rochell Elementary School). Following this, is Mims Road, which is identified as a Minor Collector on the City's Master Thoroughfare Plan. Beyond this, there is a shopping center (i.e. Rockwall Crossing). These areas are zoned Commercial (C) and Agricultural (AG) District.

<u>West</u>: Directly west of the subject property, there is a restaurant (*i.e.* On the Border) followed by Market Center Drive, which is identified as a Minor Collector on the City's Master Thoroughfare Plan. Beyond this, there is a shopping center (*i.e.* Rockwall Market Center) and a house of worship (*i.e.* Lake Pointe Church) followed by a hotel (*i.e.* La Quinta Inn) and several commercial businesses (*i.e.* Soulman's Barbeque, Applebee's, etc.). These areas are zoned Commercial (C) District.

# **CHARACTERISTICS OF THE REQUEST**

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales, and Service of Heavy Machinery and Equipment* in conjunction with an existing home improvement store (*i.e. Home Depot*). The applicant is proposing to utilize ten (10) parking spaces adjacent to the southern property line (*i.e. on the side of the store*). In conjunction with this request, the applicant is proposing to expand the existing store to accommodate a tool rental facility (*i.e. rental of power drills, saws, electric sanders*). The applicant is proposing to utilize a combination of a wrought-iron fence and three (3)-tiered landscape screening (*i.e. consisting of a combination of canopy trees, shrubs, and accent trees*) to screen the proposed outdoor equipment storage area.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC) the Rental, Sales, and Service of Heavy Machinery and Equipment is permitted an ancillary use to a general retail store with a Specific Use Permit (SUP) in a Commercial (C) District. All outside storage of equipment and machinery shall be visibly screened from all adjacent properties utilizing one (1) of the screening alternatives stipulated by Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC). The storage areas for equipment and machinery shall not occupy any required parking spaces and the storage and/or display of machinery shall be in a stowed position so as to not extend any part of the equipment or machinery in an upward or outward manner. The Unified Development Code (UDC) prohibits maintenance or service of any equipment and machinery. Specifically, the proposed facility is an ancillary use to the existing home improvement store. The applicant is proposing to provide landscape screening consisting of a wrought iron fence completely enclosing the area and a combination of canopy trees, accent trees, and shrubs that will be adjacent to three (3) sides of the enclosure (i.e. adjacent to the south, west and eastern sides). The applicant has provided a concept plan that appears to conform to these requirements. Staff should also note that the removal of the parking spaces along the southern property line will not affect the properties conformance to the parking standards, and that the site will be sufficiently parked for the current land use.

# STAFF ANALYSIS

When looking at the applicant's request, to allow the *Rental, Sales, and Service of Heavy Machinery and Equipment* in a Commercial (C) District, the applicant appears to be conforming with the *Conditional Land Use Standards* contained in Section 02, *Conditional Land Use Standards* and Definitions, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). The Planning and Zoning Commission is charged with determining if the proposed request will negatively impact the subject property and the surrounding properties. Additionally, staff should note that the subject property is located within the IH-30 Overlay (IH-30 OV) District, which is a heavily travelled district; however, the storage of the heavy equipment will be located at the rear of the property and should not be visible from IH-30. The location will be highly visible from Market Center Drive and

Rochell Court, but the proposed three (3) tiered screening should mitigate the negative impacts of the proposed storage. Based on this, the applicant's request does not appear to negatively impact the subject property or surrounding properties; however, approval of this request is a discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission.

### **NOTIFICATIONS**

On February 25, 2020, staff mailed 53 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lynden Park Homeowner's Association, which is the only Homeowner's Association (HOA)/Neighborhood Association located within 1,500-feet of the subject property and is participating in the Neighborhood Notification Program. At the time this case memo was written, staff had not received any notices concerning this request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) All outside rental, sales, and service of heavy machinery and equipment shall conform to the concept plan depicted in *Exhibit* 'B' of the attached ordinance.
  - (b) The outside storage area depicted in *Exhibit 'B'* of this ordinance shall be screened in accordance with the screening requirements stipulated by the Unified Development Code (UDC). An amended site plan showing conformance to these screening requirements shall be submitted and approved by the Planning and Zoning Commission prior to the establishment of this land use.
  - (c) The outside storage of machinery and equipment shall <u>only</u> be stored in the area depicted in *Exhibit 'B'* of this ordinance and labeled as *Proposed THD Equipment Rental (10 Stalls)*.
  - (d) The equipment and machinery stored in the outside storage area depicted in *Exhibit 'B'* of this ordinance be stowed in a position so as to not extend any part of the equipment or machinery in an upward or outward manner.
  - (e) This Specific Use Permit (SUP) shall not be construed to permit the outside storage of equipment and machinery for outside display, nor does it permit additional outside storage of other materials that are not associated with the Rental, Sales, and Service of Heavy Machinery land use.
  - (f) Maintenance and/or service of any equipment and/or machinery shall not be performed on site.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



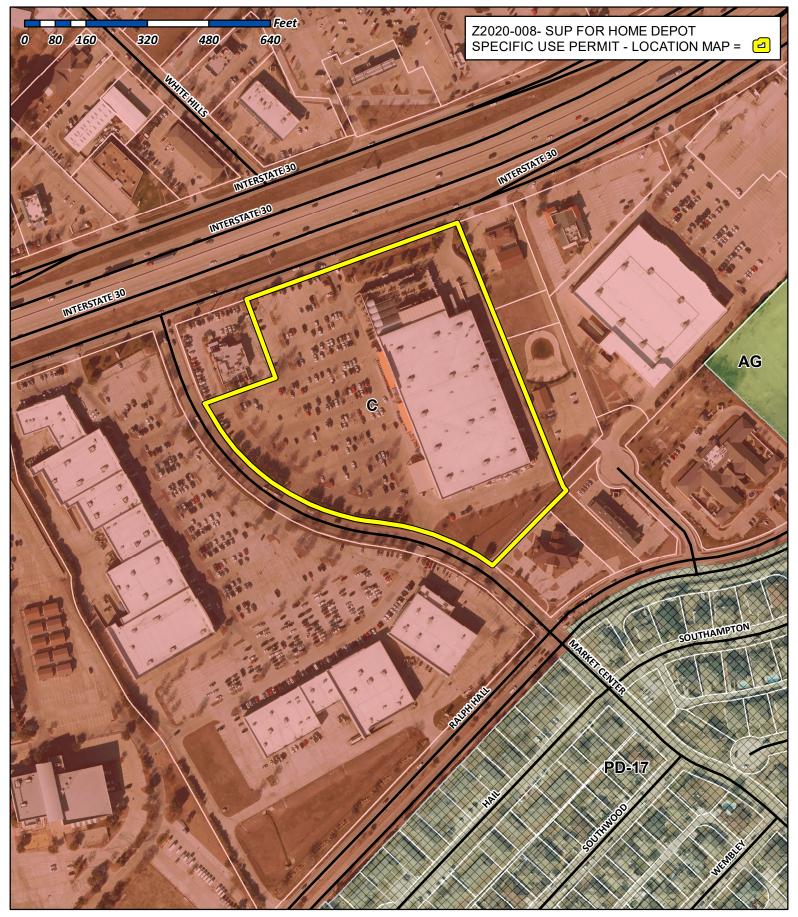
# **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLANNING & ZONING CAS	E NO.
	S NOT CONSIDERED ACCEPTED BY THE DIRECTOR AND CITY ENGINEER HAVE
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:  [ ] Master Plat (\$100.00 + \$15.00 Acre) 1  [ ] Preliminary Plat (\$200.00 + \$15.00 Acre) 1  [ ] Final Plat (\$300.00 + \$20.00 Acre) 1  [ ] Replat (\$300.00 + \$20.00 Acre) 1  [ ] Amending or Minor Plat (\$150.00)  [ ] Plat Reinstatement Request (\$100.00)  Site Plan Application Fees:  [ ] Site Plan (\$250.00 + \$20.00 Acre) 1  [ ] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)		Zoning Application Fees:  [ ] Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup> [X] Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup> [ ] PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup> Other Application Fees:  [ ] Tree Removal (\$75.00)  [ ] Variance Request (\$100.00)  Notes:  ¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.				
PROPERTY INFO	RMATION [PLEASE PRINT]					
Address	765 East I-30, Rockwall, TX 750	87				
Subdivision	Home Depot - Rockwall Addition		Lot	1	Block	Α
General Location	Interstate 30 & Market Center D	rive				
ONING, SITE PL	AN AND PLATTING INFORMATION [PLEAS	E PRINT]				
Current Zoning	Commercial (C) District	Current Use	Commercia	1		
Proposed Zoning	Commercial (C) District	Proposed Use	Commercia	ıl		
Acreage	11.390 Lots [Current]	1	Lots	[Proposed]	1	
process, and failu	PLATS: By checking this box you acknowledge that due to re to address any of staff's comments by the date provided o	n the Development Cal	endar will result in t	the denial of yo	our case.	
JWNER/APPLIC Owner	ANT/AGENT INFORMATION [PLEASE PRINT/C Home Depot U.S.A., Inc.	(X) Applicant	ontact/original Lars Andei			
Contact Person	Suzanne Russo	Contact Person	Scott Momm		bociace	o, me.
Address	2455 Paces Ferry Road	Address	4694 W. Ja		Avenue	
Address	2133 races refr, Road	Address	1001			
City, State & Zip	Atlanta, GA 30339	City, State & Zip	Fresno, CA	A 93722		
Phone	+1 (770) 384-2406	Phone	559-978-7060			
E-Mail	Suzanne_Russo@homedepot.com	E-Mail	smommer@larsandersen.com			
Before me, the undersig his application to be tru If hereby certify that I are cover the cost of this app that the City of Rockwai	cation [Required]  med authority, on this day personally appeared Suzanne me and certified the following:  me the owner for the purpose of this application; all information collication, has been paid to the City of Rockwall on this the fil (i.e. "City") is authorized and permitted to provide information any copyrighted information submitted in conjunction with the	nn submitted herein is t <u>/h</u> day of <u>Fe bra</u> ation contained within	this application to	d the application  Lo  By signification  The public.	on fee of \$ gning this appl ne City is also o	, to ication, I agree authorized and
	d seal of office on this the 4th day of Februar	y , 20 20.	SIGNA	TRAC	CEE BATO	CHELOR Georgia
	Owner's Signature Sygume Pund for the State of Texas	Ho.		Mv (	Gwinnett Co Commission ptember 0	ounty Expires





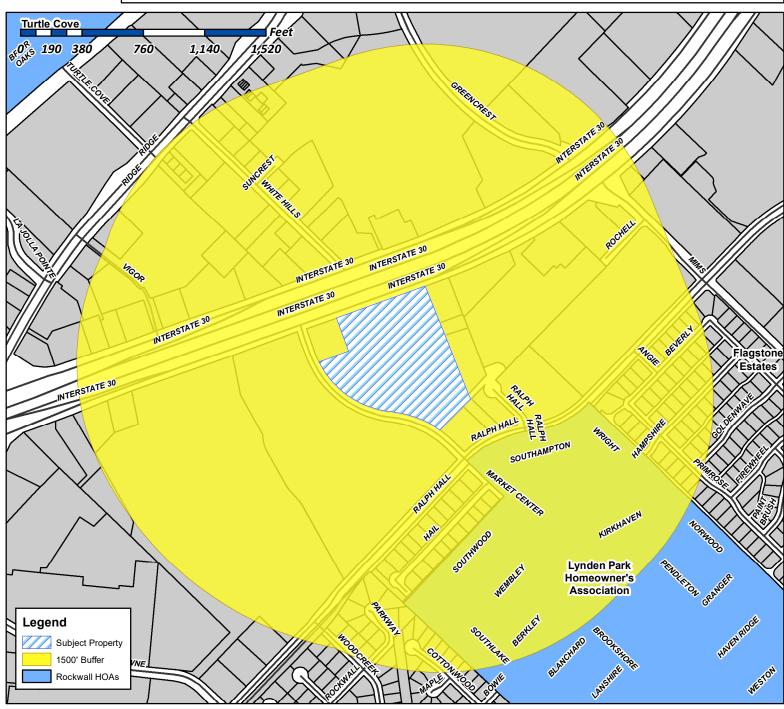
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





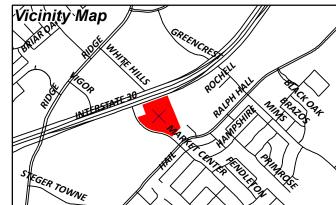
Case Number: Z2020-008

Case Name: SUP for Home Depot Case Type: Specific Use Permit Zoning: Commercial (C)

Case Address: 765 E. I-30

**Date Created: 2/21/2020** 

For Questions on this Case Call (972) 771-7745



# Gamez, Angelica

From:

Gamez, Angelica

Sent:

Friday, February 28, 2020 10:30 AM

Subject:

Neighborhood Notification program

**Attachments:** 

PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf;

PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

## To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner <u>February 28, 2020</u>. The Planning and Zoning Commission will hold a public hearing on <u>Tuesday, March 10, 2020 at 6:00 p.m.</u>, and the City Council will hold a public hearing on <u>Monday, March 16, 2020 at 6:00 p.m.</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <a href="https://sites.google.com/site/rockwallplanning/development-cases">https://sites.google.com/site/rockwallplanning/development-cases</a>.

### Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

#### Z2020-002 SUP for Residential Infill for 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

#### Z2020-003 SUP for Residential Infill for 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

#### Z2020-004 SUP for Residential Infill for 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

### Z2020-005 SUP for Residential Infill for 703 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

#### Z2020-006 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

## Z2020-007 Text Amendment to Article VIII, Landscape and Screening

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

## Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <a href="http://www.rockwall.com/planning/hoa.asp">http://www.rockwall.com/planning/hoa.asp</a>.

Thank you,

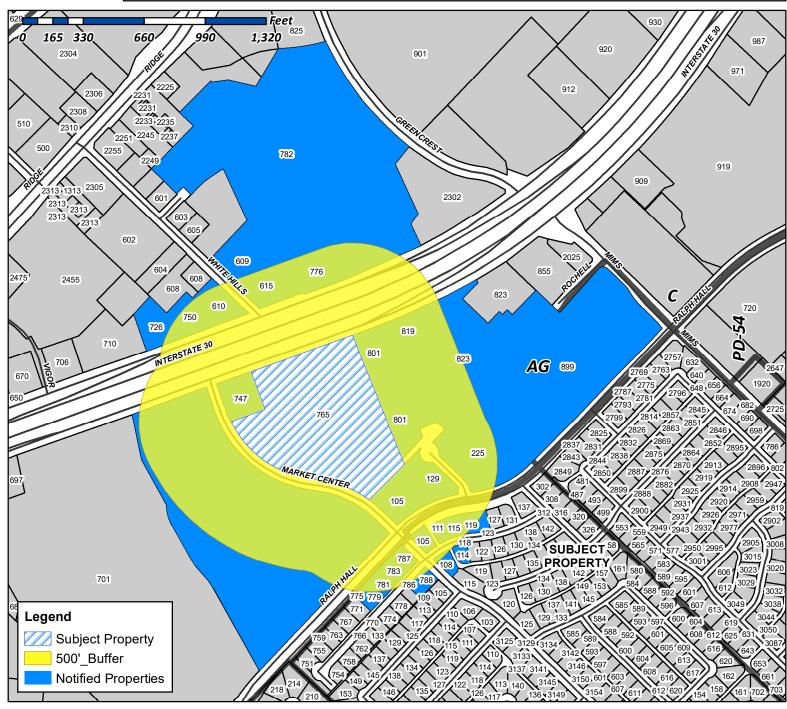
# Angelica Gamez

Planning & Zoning Coordinator City of Rockwall 972.771.7745 Office 972.772.6438 Direct http://www.rockwall.com/planning/



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





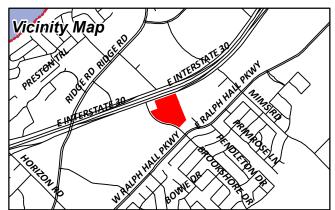
Case Number: Z2020-008

Case Name: SUP for Home Depot Specific Use Permit Commercial (C)

Case Address: 765 E. I-30

**Date Created:** 2/21/2020

For Questions on this Case Call (972) 771-7745



ROCKWALL I S D , 0	CURRENT RESIDENT 130 ROCKWALL, TX 75032	CURRENT RESIDENT RALPH HALL ROCKWALL, TX 75032
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
EI30	105 RALPH HALL	105 SOUTHAMPTON
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
CURRENT RESIDENT	SMITH NICHOLAS & JESSICA ESQUIVEL	CURRENT RESIDENT
108 SOUTHAMPTON	111 SOUTHAMPTON DRIVE	114 SOUTHAMPTON
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
FERRARO TERESA M	FADILI TONY AND NAIMA DARRAOUI	CURRENT RESIDENT
115 SOUTHAMPTON DRIVE	119 SOUTHAMPTON DR	123 SOUTHAMPTON
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
BT CAYMAN LLC	CURRENT RESIDENT	UNDERWOOD ARCHIE HARBERT
12801 N CENTRAL EXPY SUITE 1675	129ERALPH HALL	15180 COUNTY ROAD 4009
DALLAS, TX 75243	ROCKWALL, TX 75032	MABANK, TX 75147
GREAT AMERICAN RESORTS INC 1917 ARROYO RD DALHART, TX 79022	WESTMARK HARRIS REAL ESTATE INVESTMENTS LLC ATTN: MARK FRIEDMAN 200 CONGRESS UNIT 46TX AUSTIN, TX 78701	COLE OB ROCKWALL TX LLC C/O OTB ACQUISITION LLC 2201 W ROYAL LANE SUITE 240 IRVING, TX 75063
NHI-REIT OF TX-IL LLC	CURRENT RESIDENT	ROCKWALL DUNHILL LLC
222 ROBERT ROSE DRIVE	225ERALPH HALL	3100 MONTICELLO AVENUE SUITE 300
MURFREESBORO, TN 37129	ROCKWALL, TX 75032	DALLAS, TX 75205
WALKER I REALTY INC C/O CHARLES F WALKER 3404 MARQUETTE ST DALLAS, TX 75225	INVEZA GROUP LLC 4400 TEMECULA CREEK TRAIL MCKINNEY, TX 75070	609 WHITE HILLS LTD C /O TACO BUENO RESTAURANTS INC 4515 LYNDON B JOHNSON FWY DALLAS, TX 75244
SCHULER JACK W TRUSTEE	CURRENT RESIDENT	CURRENT RESIDENT
5900 S. LAKE FOREST DR. STE 295	609 WHITE HILLS	610 WHITE HILLS
MCKINNEY, TX 75070	ROCKWALL, TX 75032	ROCKWALL, TX 75032
CURRENT RESIDENT 615 WHITE HILLS	SHEPHERD PLACE HOMES INC 620 ROWLETT RD GARLAND, TX 75043	SAYED PROPERTY MANAGEMENT LLC 7008 MILLS BRANCH CIR

GARLAND, TX 75043

PLANO, TX 75024

ROCKWALL, TX 75032

CURRENT RESIDENT	CURRENT RESIDENT	SEVEN26 PROPERTIES LLC
726 I30	747E130	750 E I-30 SUITE 105
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
765 I30	775 HAIL	776 I30
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
CURRENT RESIDENT	LENA INVESTMENT INC	CURRENT RESIDENT
779 HAIL	779 MOUNTCASTLE DR	781 HAIL
ROCKWALL, TX 75032	ROCKWALL, TX 75087	ROCKWALL, TX 75032
CURRENT RESIDENT 782 I30 ROCKWALL, TX 75032	CURRENT RESIDENT 783 HAIL ROCKWALL, TX 75032	ROCKWALL HOUSING DEV CORP A TEXAS NON-PROFIT CORP OF RW 787 HAIL DR ROCKWALL, TX 75032
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
788 HAIL	801EI30	819EI30
ROCKWALL, TX 75032	ROCKWALL, TX 75032	ROCKWALL, TX 75032
CURRENT RESIDENT 823 I30 ROCKWALL, TX 75032	CURRENT RESIDENT 899 TUBBS ROCKWALL, TX 75032	ARC BFRKWTX001 LLC C/O ED RYBURN CMI SENIOR TAX SPECIALIST BRIDGESTONE AMERICAS HOLDING INC 535 MARRIOTT DR 9TH FLOOR NASHVILLE, TN 37214
HD DEVELOPMENT PROPERTIES LP PROPERTY TAX DEPT #0531 PO BOX 105842 ATLANTA, GA 30348	KOHLS ILLNOIS INC PO BOX 2148 MILWAUKEE, WI 53201	MURPHY OIL USA INC PO BOX 7300 EL DORADO, AR 71731
WAL-MART REAL ESTATE BUSINESS TRUST PO BOX 8050	HOMEBANK at PO BOX 909 SEAGOVILLE, TX 75159	

SEAGOVILLE, TX 75159

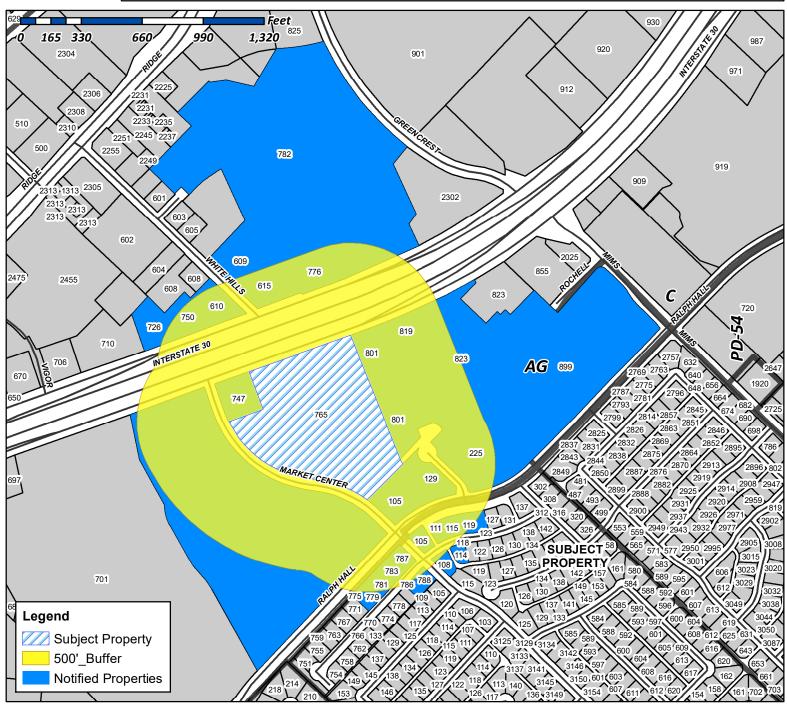
BENTONVILLE, AR 72712



## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-008

Case Name: SUP for Home Depot Specific Use Permit Commercial (C)

Case Address: 765 E. I-30

**Date Created:** 2/24/2020

For Questions on this Case Call (972) 771-7745



To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Case No. Z2020-008: Home Depot

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.,** and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Korey Brooks Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**Director of Planning & Zoning





#### MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

PLEASE RETURN THE BELOW FORM
se No. Z2020-008: Home Depot
ease place a check mark on the appropriate line below:
I am in favor of the request for the reasons listed below.
I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

### **Legal Description**

LOT 1, BLOCK A, FINAL PLAT HOME DEPOT – ROCKWELL ADDITION, A SUBDIVISION IN ROCKWALL COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN SLIDE D, PAGE 57 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.



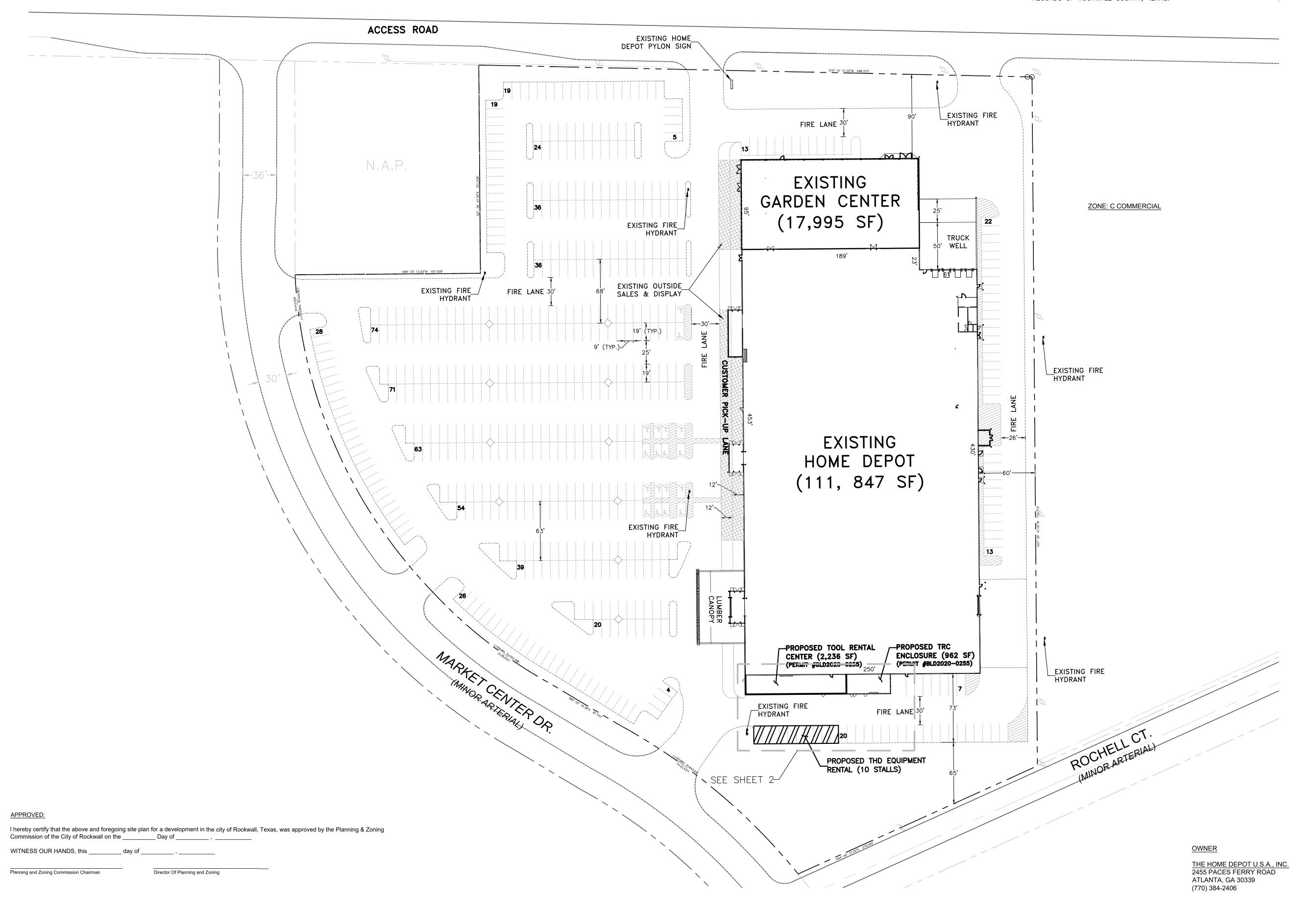
#### Project Description Equipment Rental SUP Application 765 E I-30, Rockwall, TX 75087

On behalf of Home Depot, our Firm (Lars Andersen & Associates, Inc.), is submitting a Specific Use Permit Application to allow the use of ten (10) parking stalls to display compact power Equipment Rental. The proposed compact power Equipment Rental transactions will be made through the proposed Tool Rental Center (Building Permit Case No. BLD2020-0255) during store operating hours. Such equipment are items like small trailers, see the attached file for a list of example equipment that the store could elect to rent. It should be noted that the HD Rental equipment is owned and operated by Home Depot and there are no Third-Party Entities involved with this Accessory Use. In addition, no service, repairs, or maintenance are done on THD Rental equipment at the store, as Home Depot owns various maintenance facility locations throughout the region where they are serviced. There is also no fueling of the equipment by Home Depot or its Associates, as the equipment is returned filled by the customer. The proposed Equipment Rental will be placed in the stalls for 24-hours and there would only be one (1) equipment per stall. The equipment is placed on trailers ready for customers to tow-away.

INTERSTATE HIGHWAY 30
(PRIMARY HIGHWAY)

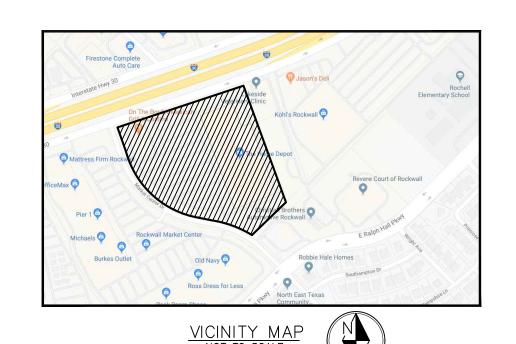
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LARS ANDERSEN & ASSOCIATES, INC. CIVIL ENGINEERS — LAND SURVEYORS — PLANNERS 4694 WEST JACQUELYN AVENUE — FRESNO CALIFORNIA 93722 TEL: 559 276—2790 FAX: 559 276—0850 WWW.LARSANDERSEN.COM



## PROJECT INFORMATION

ZONING INFORMATION APN: ZONING: EXISTING LAND USE: PROPOSED LAND USE:	47567 C COMMERCIAL COMMERCIAL COMMERCIAL
HOME DEPOT SITE DATA HOME DEPOT AREA	11.39 AC
HOME DEPOT BUILDING AREAS EXISTING HOME DEPOT BUILDING PROPOSED TOOL RENTAL CENTER EXISTING GARDEN CENTER TOTAL HD BUILDING AREA	111,847 SF 2,236 SF <u>+ 17,955 SF</u> 132,038 SF
MINIMUM SETBACKS FRONT: REAR: SIDE:	15 FT 10 FT 27 FT

PARKING REQUIRED PER CITY CODE HOME DEPOT (@ 1/250 SF) GFA (INCLUDING GARDEN CENTER)

PARKING PROVIDED
CUSTOMER

OVERFLOW
TOTAL PROVIDED

514 STALLS
+ 89 STALLS
603 STALLS

528 STALLS

18 STALLS

INCLUDED WITHIN PARKING PROVIDED ACCESSIBLE PARKING

# SUP SITE PLAN

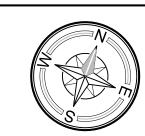
DATE:	2/04/2020
REVISION DATES:	
SITE PLANNER	DAVID BORSCH
SITE DEV. COORDINATOR	SCOTT MOMMER
R. E. MARKET	
R. E. AGENDA NAME	
R. E. MANAGER	KIM KOEINO

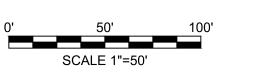


ADDRESS: 765 E I-30 ROCKWALL, TX 75087

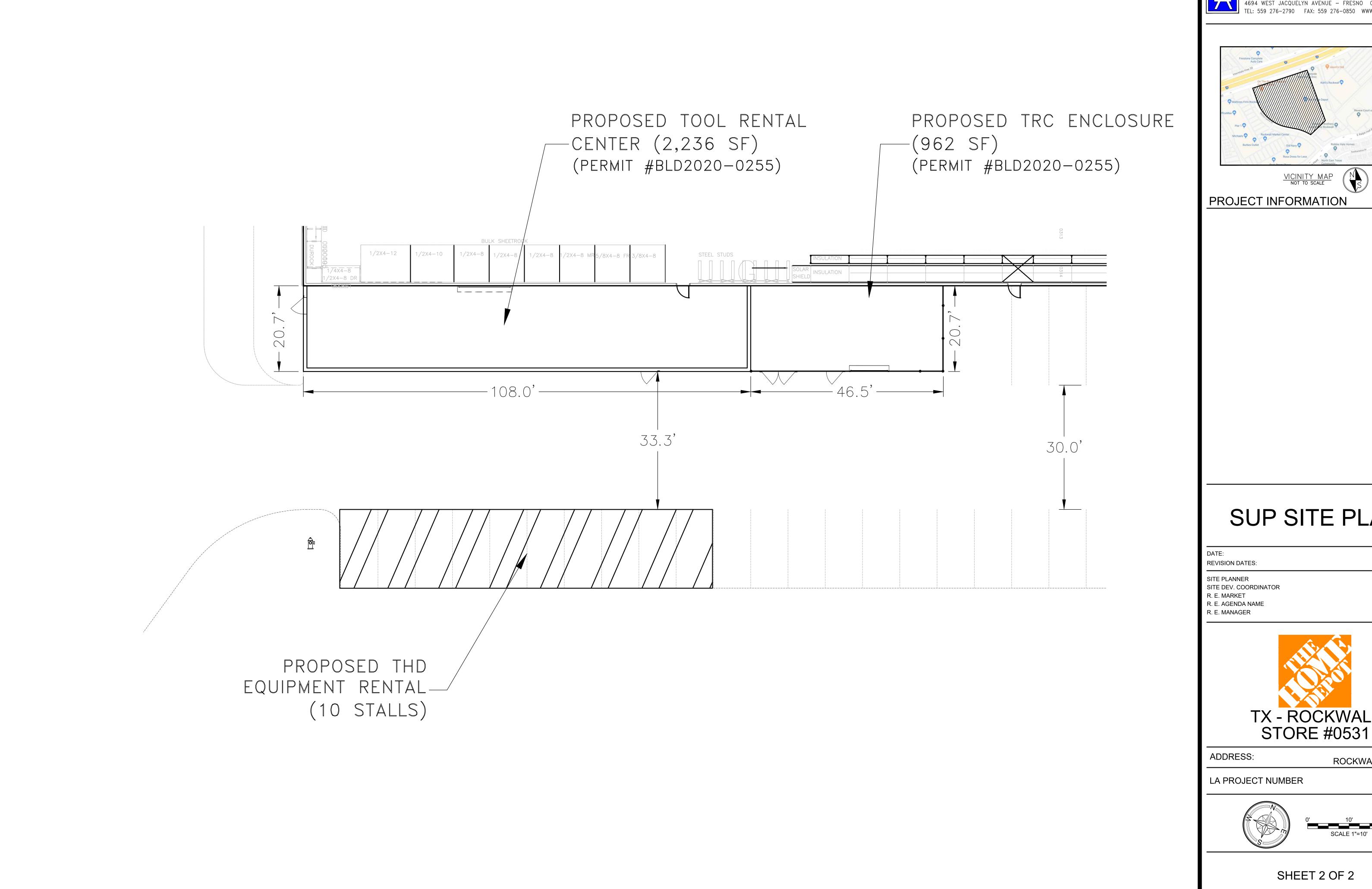
LA PROJECT NUMBER

18085.00





SHEET 1 OF 2







## SUP SITE PLAN

2/04/2020 DAVID BORSCH SCOTT MOMMER KIM KOEING



765 E I-30 ROCKWALL, TX 75087

18085.00



#### **CITY OF ROCKWALL**

#### **ORDINANCE NO. 20-XX**

#### SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT ON AN 11.389-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, HOME DEPOT-ROCKWALL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE: PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE: PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Scott Mommer of Lars Andersen & Associates for the approval of a Specific Use Permit (SUP) to allow *Rental, Sales, and Service of Heavy Machinery and Equipment* on a 11.38-acre parcel of land being described as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 765 E. IH-30, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing Rental, Sales, and Service of Heavy Machinery and Equipment as stipulated by Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

#### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the *Rental, Sales, and Service of Heavy Machinery and Equipment* land use on the *Subject Property* and conformance to these conditions are required for continued operations:

- 1) All outside rental, sales, and service of heavy machinery and equipment shall conform to the concept plan depicted in *Exhibit 'B'* of this ordinance.
- 2) The outside storage area depicted in *Exhibit 'B'* of this ordinance shall be screened in accordance with the screening requirements stipulated by the Unified Development Code (UDC). An amended site plan showing conformance to these screening requirements shall be submitted and approved by the Planning and Zoning Commission prior to the establishment of this land use.
- 3) The outside storage of machinery and equipment shall <u>only</u> be stored in the area depicted in *Exhibit 'B'* of this ordinance and labeled as *Proposed THD Equipment Rental (10 Stalls)*.
- 4) The equipment and machinery stored in the outside storage area depicted in *Exhibit 'B'* of this ordinance be stowed in a position so as to not extend any part of the equipment or machinery in an upward or outward manner.
- 5) This Specific Use Permit (SUP) shall not be construed to permit the outside storage of equipment and machinery for outside display, nor does it permit additional outside storage of other materials that are not associated with the *Rental, Sales, and Service of Heavy Machinery* land use.
- 6) Maintenance and/or service of any equipment and/or machinery shall not be performed on site.

#### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not

Z2020-008: SUP for 765 IH-30 Ordinance No. 20-XX; SUP # S-1XX to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

ATTEST:	Jim Pruitt, <i>Mayor</i>
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1st Reading: <u>March 16, 2020</u>	
2 <sup>nd</sup> Reading: <i>April 6, 2020</i>	

Exhibit 'A' Zoning Exhibit

<u>Address:</u> 765 E. IH-30 <u>Legal Description:</u> Lot 1, Block A, Home Depot-Rockwall Addition

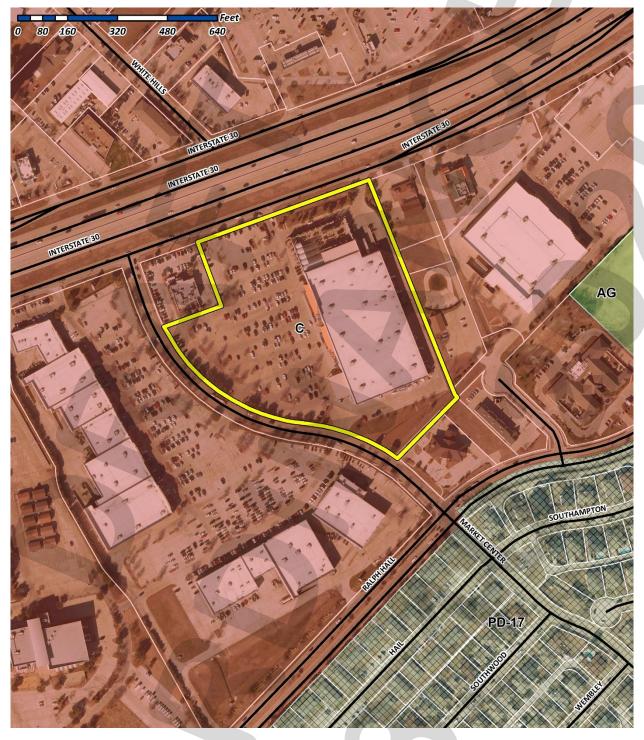
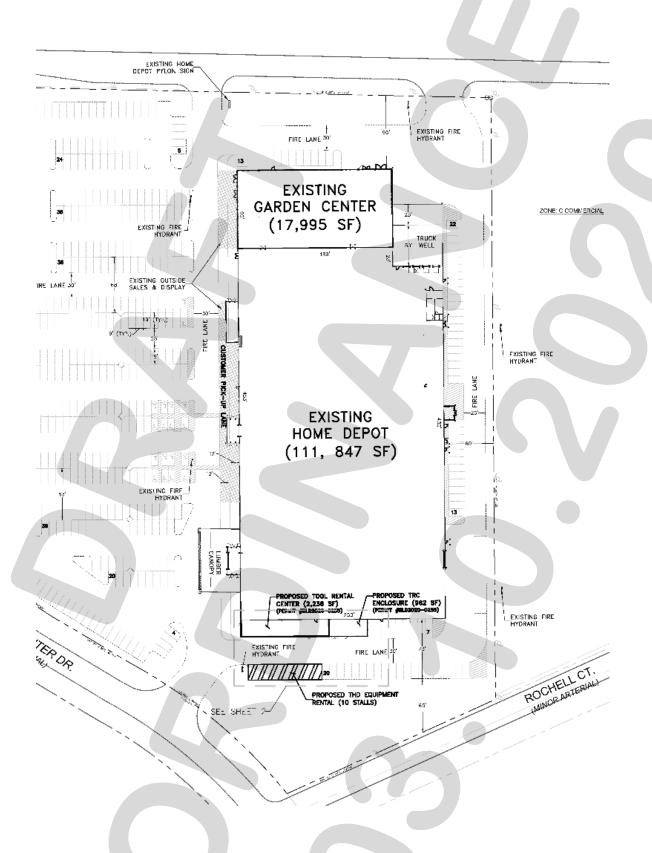


Exhibit 'B'
Concept Plan





#### CITY OF ROCKWALL

#### PLANNING AND ZONING COMMISSION CASE MEMO

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

**DATE**: March 10, 2020

APPLICANT: Shannon Thomas; Friendship Baptist Church

**CASE NUMBER:** SP2020-003.; Amending Site Plan for Friendship Baptist Church

#### **SUMMARY**

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an Amending Site Plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

#### **BACKGROUND**

The subject property was annexed in 1985 [Ordinance No. 85-66], is situated within the SH-205 Bypass Overlay (SH-205 BY OV) District, and is located east of the intersection of Justin Road and John King Boulevard. On February 19, 2019, the City Council approved a request [Case No. Z2018-056] for a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District to allow the site to be developed for a house of worship (i.e. Friendship Baptist Church). On August 13, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-024] for a house of worship on the subject property. Since that time, the property owner has changed architectural firms, and has changed the design of the building. Since the proposed house of worship differs from the originally approved building elevations, the changes will be required to be reviewed by the Architectural Review Board (ARB) and the Planning and Zoning Commission.

#### **PURPOSE**

The applicant is requesting approval of an amended site plan for a 17,991 SF <u>house of worship</u> on the subject property.

#### ADJACENT LAND USES AND ACCESS

The subject property is located at the intersection of Justin Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property is a railroad (*i.e.* Union Pacific/Dallas Garland N. E.) followed by several vacant tracts of land. Beyond this is Airport Road, which is identified as a M4U (Major Collector, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan. Beyond this is the Rockwall Municipal Airport. These areas are zoned Agricultural (AG) District.

South:

Directly south of the subject property is Justin Road, which is identified as a M4D (Major Collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan. Beyond this are several vacant tracts of land zoned Light Industrial (LI) District and Commercial (C) District followed by IH-30, which is identified as a TXDOT roadway on the City's Master Thoroughfare Plan.

East:

Directly east of the subject property are several vacant tracts of land zoned Agricultural (AG) District and Light Industrial (LI) District. Beyond this is FM-3549, which is identified as a TXDOT4D (i.e. Texas Department of Transportation, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan. This roadway delineates the city limits of the City of Rockwall.

West:

Directly west of the subject property is a small vacant tract of land owned by the City of Rockwall and which is zoned Agricultural (AG) District. Beyond this is John King Boulevard, which is identified as a P6D (*Principal Arterial*, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan. Beyond this are two (2) manufacturing companies (i.e. Channell Commercial Corporation and Graham Packaging Technologies). These areas are zoned Light Industrial (LI) District.

#### DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a house of worship is allowed by-right in a Light Industrial (LI) District. With the exception of the variances being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Light Industrial (LI) District and situated within the SH-205 By OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	12,500 SF	X=262,666 SF; In Conformance
Minimum Lot Frontage	100 Feet	X=301-Feet; In Conformance
Minimum Lot Depth	125-Feet	X=613-732-Feet; In Conformance
Minimum Front Yard Setback	25-Feet	X=25-Feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X=10-Feet; In Conformance
Minimum Side Yard Setback	27-Feet	X=27-Feet; In Conformance
Maximum Building Height	60-Feet	X=25-Feet; In Conformance
Max Building/Lot Coverage	60%	X=10%; In Conformance
Minimum Masonry Requirement	90%	X=90-100%; In Conformance
Minimum Number of Parking Spaces	150 Spaces	X=239 Spaces; In Conformance
Minimum Stone Requirement	20%	X=21-32%; In Conformance
Minimum Landscaping Percentage	10%	X=38%; In Conformance
Maximum Impervious Coverage	90-95%	X=62%; In Conformance

#### TREESCAPE PLAN

This request does not require a treescape plan since there are no protected trees being removed.

#### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 5.02, Light Industrial (LI) District, of Article 05, District Development Standards, of the Unified Development Code (UDC), the Light Industrial (LI) District is intended for industrial parks and larger, cleaner types of industries. Light Industrial (LI) Districts are typically located close to arterial capable of carrying commercial traffic and in this case, the subject property is located at the intersection of an arterial and a major collector (i.e. S. John King Blvd and Airport Rd.) and this request appears to conform to these requirements.

#### VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of the Unified Development Code (UDC):

- (1) Construction Standards.
  - (a) Industrial Building Articulation Requirements. Subsection 05.01, General Industrial District Standards, of Section 05, Industrial Districts, of the Unified Development Code (UDC) states that the maximum wall length shall not exceed four (4) times the wall height without a projecting entryway/architectural element. The minimum length of an entryway/architectural element shall be 33% of the wall height. In this case, the maximum wall length without an entryway/architectural element is 80-feet; however, the north, east/northeast, and the southwest, building facades exceed the maximum wall length. Specifically, the north façade is 102-feet in length, the east/northeast façade is 92-

feet in length, and the southwest façade is 97-feet in length. Staff should note, that the applicant has provided projecting architectural elements on the southwest façade; however, these elements do not conform to the minimum length of an entryway/architectural element. In this case, the minimum length of an entryway/architectural element is approximately seven (7) feet in length; however, the proposed architectural elements are three (3) feet in length. Since these facades do not meet the articulation standards, approval of a variance is required.

#### (2) General Overlay District Standards.

- (a) Materials and Masonry Composition. Subsection 06.02, General Overlay District Standards, of Section 06, Overlay Districts, of the Unified Development Code (UDC) states that each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials -- excluding windows and doors. A minimum of 20% stone natural or quarried stone is required on all building facades. The use of cementitious materials (e.g. stucco, cementitious lap siding, or similar cementitious material), shall be limited to 50% of the building's exterior façade. In this case, the proposed building utilizes a combination of brick, stucco, and stone and generally conforms to the Primary Materials requirement with the exception of utilizing at least 20% stone on each façade. Specifically, the applicant is proposing to utilize 1.9% stone on the east/northeast façade, and 0% stone on the north façade. Staff should note, the remaining building façades utilize between 20.03% and 49.4% stone. Since this does not meet the minimum requirement of 20%, approval of a variance is required.
- (b) Four (4) Sided Architecture. Subsection 06.02, General Overlay District Standards, of Section 06, Overlay Districts, of the Unified Development Code (UDC) states that all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation, and features. In this case, the north, northeast, and east building elevations do not appear to conform to the four (4) sided architecture requirements and approval of a variance is required.

According to Subsection 09.02, Variances to the General Overlay District Standards, of Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission to grant a variance to any provision contained in Section 06.02, General Overlay District Standards, of Article 06, District Development Standards, of the Unified Development Code (UDC) where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship. In cases where a variance is requested, the applicant shall provide two (2) compensatory measures that directly offset the requested variance. In this case, since three (3) variances are being requested, the applicant is required to provide a total of six (6) compensatory measures. The applicant has provided a letter that outlines the following proposed compensatory measures: To provide increased landscaping (i.e. 40 additional trees) throughout the site, to provide increased parking lot landscaping (i.e. an 11.3% increase), to provide two (2) additional architectural elements, and to provide 100% masonry on each facade. Staff should note, since three (3) variances have been requested, a total of six (6) compensatory measures are required. In this case, the applicant has provided four (4) compensatory measures and approval is a discretionary decision for the Planning and Zoning Commission, pending a recommendation by the Architectural Review Board (ARB). These exceptions are discretionary decisions for the Planning and Zoning Commission and require approval by a ¾ majority. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

#### CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan, designated the subject property for <u>Technology/Employment</u> land uses, which is characterized by employment-oriented businesses, typically situated in larger centers that have access to key transportation networks. In this case, the applicant previously rezoned the property to Light Industrial (LI) District, which was in conformance with the Future Land Use Plan; however, the land use (*i.e.* a house of worship) is considered to be a <u>Quasi-Public</u> land use, which necessitated a change in the Future Land Use Plan. The proposed house of worship conforms to the <u>Quasi-Public</u> land use.

#### ARCHITECTURAL REVIEW BOARD (ARB):

On February 25, 2020, the Architectural Review Board (ARB) reviewed the revised building elevations and requested that the applicant provide color elevations and a materials sample board. The applicant has submitted color renderings and a material sample board that appear to generally conform to the overlay district requirements and these will be be provided to the ARB at their meeting on <u>March 10, 2020</u>.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

(1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



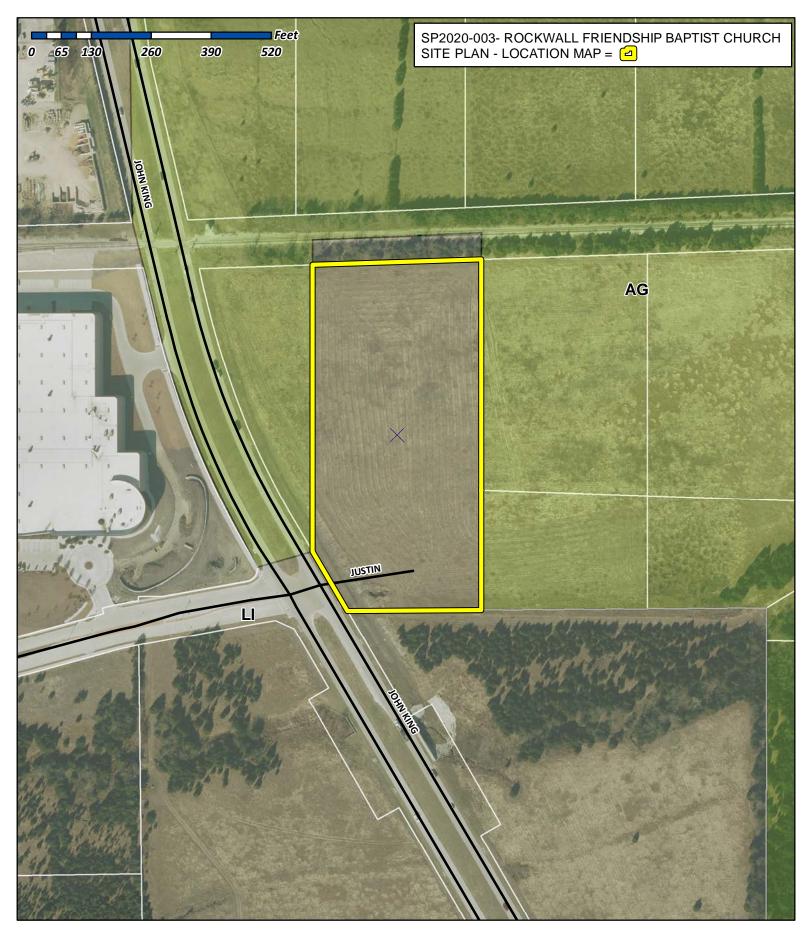
#### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY	OF THE PROPERTY OF THE PROPERT
PLANNING & ZONING CASE NO.	SP2020-003
NOTE: THE APPLICATION IS NOT C	ONSIDERED ACCEPTED BY THE
CITY UNTIL THE PLANNING DIRECT	TOR AND CITY ENGINEER HAVE
SIGNED BELOW.	
DIRECTOR OF PLANNING:	
CITY ENGINEER:	

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

[ ] Preliminary Pla [ ] Final Plat (\$300.00 [ ] Replat (\$300.00 [ ] Amending or M [ ] Plat Reinstaten Site Plan Applicati [ ] Site Plan (\$250	1.00.00 + \$15.00 Acre) 1 t (\$200.00 + \$15.00 Acre) 1 1.00 + \$20.00 Acre) 1	[ ] Specific Use [ ] PD Developr Other Applicatio [ ] Tree Removi [ ] Variance Rec Notes: 1: In determining the	ge (\$200.00 + \$15.00 Permit (\$200.00 + \$15.00 nent Plans (\$200.00 + on Fees: al (\$75.00) quest (\$100.00) he fee, please use the example	5.00 Acre) 1
PROPERTY INFO	RMATION [PLEASE PRINT]			
Address	John King Blvd. (#7175)			
Subdivision	N/A		Lot	Block
General Location	7175			
ZONING, SITE PL	AN AND PLATTING INFORMATION [PLEA	SE PRINT]		
Current Zoning		Current Use		
Proposed Zoning		Proposed Use		
Acreage	Lots [Current]		Lots [Prop	osed]
process, and failur	<u>PLATS</u> : By checking this box you acknowledge that due to re to address any of staff's comments by the date provided c ANT/AGENT INFORMATION [PLEASE PRINT/O	on the Development Caler	dar will result in the den	ial of your case.
[ ] Owner	Rockwall Friendship Baptist Church	[ ] Applicant	Rockwall Frier	dship Baptist Church
Contact Person	Shanon Thomas	Contact Person	Shanon Thoma	as
Address	John King Blad (Proposal #7175)	Address	5651 State High	hway 276
City, State & Zip	Rockwall, Texas. 75032	City, State & Zip	Royse City, Te	xas 75189
Phone	(972)772-7520	Phone	(972)772-7520	
E-Mail	sthomas@rockwallfbc.org	E-Mail	sthomas@rockw	/allfbc.org
	CATION [REQUIRED]  ned authority, on this day personally appeared Sharing and certified the following:	on Thomas	[ <i>Owner</i> ] the undersigne	ed, who stated the information on
"I hereby certify that I am cover the cost of this app that the City of Rockwall	the owner for the purpose of this application; all information the owner for the purpose of this application; all information its the discount of the city of Rockwall on this the discount (i.e. "City") is authorized and permitted to provide information submitted in conjunction with the conjunction with the city of th	ation contained within th	is application to the pu	. By signing this application, I agree blic. The City is also authorized and
Notary Public in a	nd for the State of Texas Cardyn Edis	ion	My Commission	Expires October 6, 2023

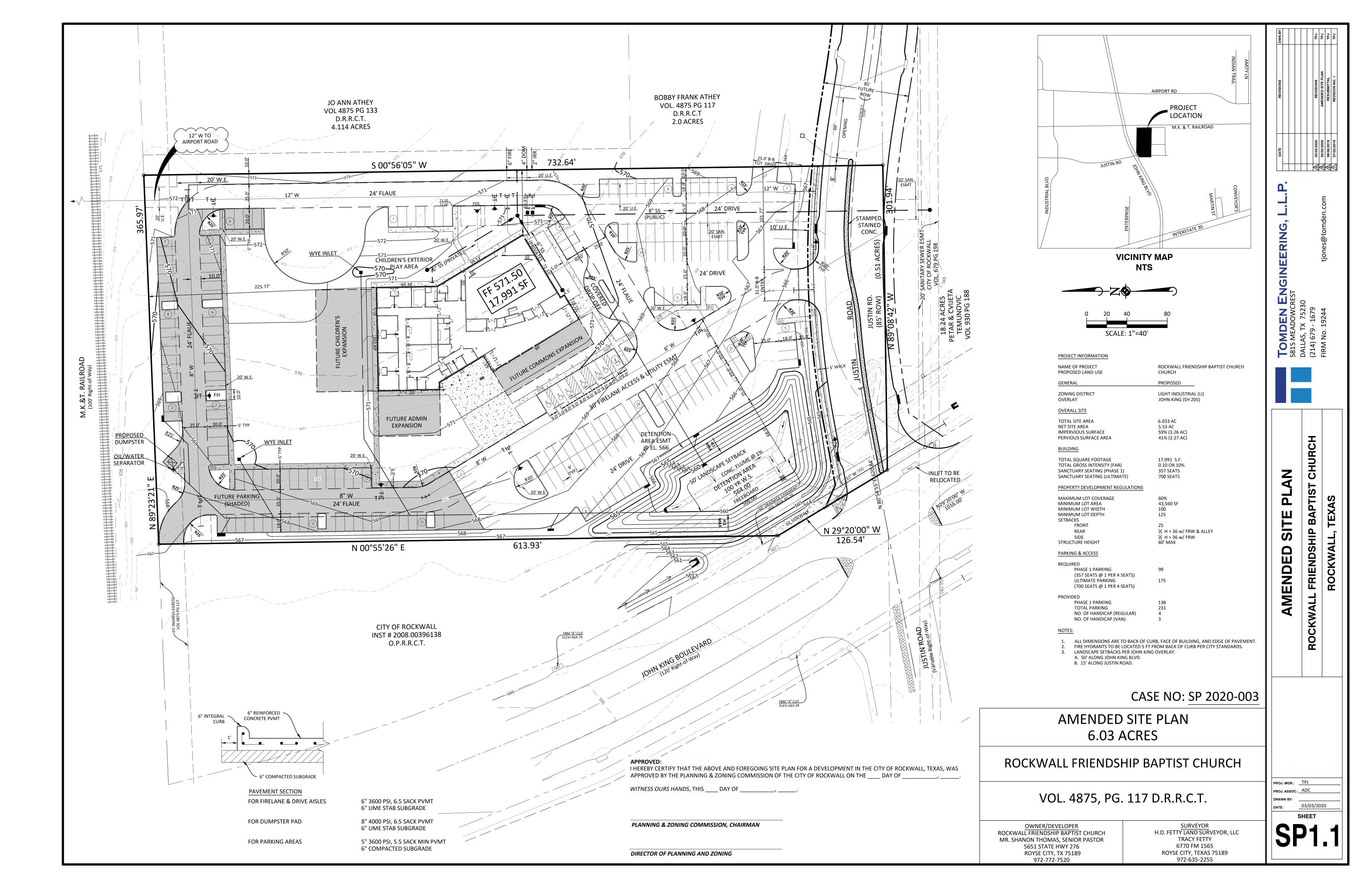


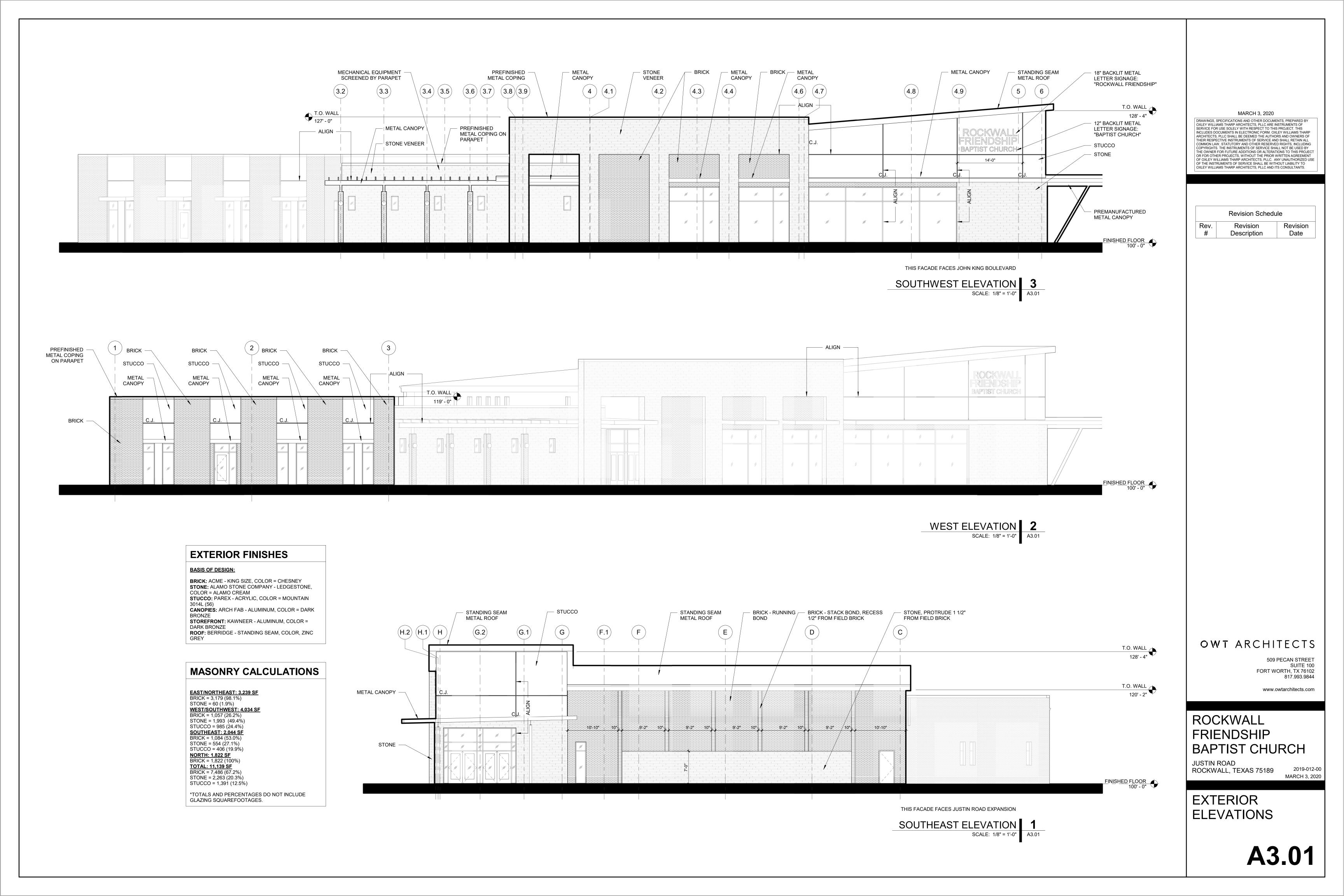


## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.











EXTERIOR PERSPECTIVE

SCALE: 1/8" = 1'-0"

#### MARCH 3, 202

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Rev.	Revision	Revision	
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## ROCKWALL FRIENDSHIP BAPTIST CHURCH

JUSTIN ROAD ROCKWALL, TEXAS 75189

2019-012-0 MARCH 3, 202

EXTERIOR PERSPECTIVES

A3.11



EXTERIOR PERSPECTIVE

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## ROCKWALL FRIENDSHIP **BAPTIST CHURCH**

JUSTIN ROAD ROCKWALL, TEXAS 75189

2019-012-00 MARCH 3, 2020

**EXTERIOR** PERSPECTIVES

A3.12

